

BASEMENT-01
 TOTAL NO. OF CARS= NORMAL PARKING+ NO. OF PUZZLE PARKING X 2
 TOTAL NO. OF CARS= 145+104 (PUZZLE)X2 =353

LEGEND

	PUZZLE PARKING = 104X 2=208
	NORMAL PARKING = 145
TOTAL	353

- GENERAL NOTES:**
- DRAWINGS IN PL & FF SERIES REPRESENTS PLUMBING AND FIRE SUPPRESSION SYSTEM.
 - IN CASE OF ANY DISCREPANCY IT SHOULD BE BROUGHT TO THE NOTICE OF ARCHITECT / PROJECT MANAGER / CONSULTANT.
 - DRAWING SHOULD NOT BE SCALED.
 - ONLY WRITTEN DIMENSIONS TO BE CALLED.
 - THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL, LAND, SCAPING, STRUCTURAL AND OTHER SERVICES DRAWING.
 - ALL SERVICES SHAFTS WILL BE SEALED AT EVERY FLOOR LEVEL AFTER INSTALLING SERVICES.

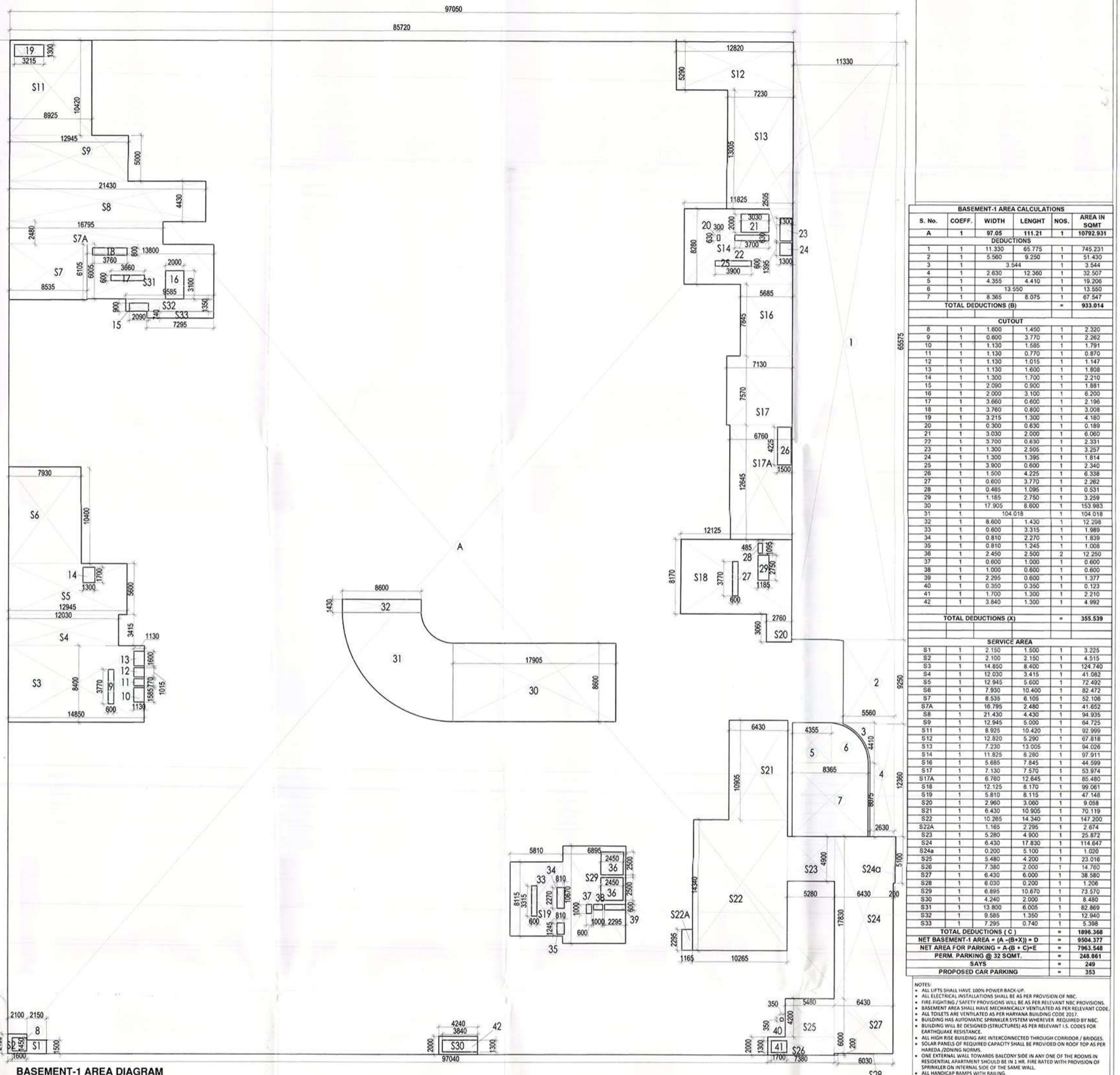
- FIRE-FIGHTING LEGEND:**
- 1000 FIRE EXTINGUISHER
 - 1000 FIRE EXTINGUISHER CABINET
 - 1000 FIRE HOSE CABINET
 - 1000 FIRE HOSE CABINET
 - 1000 FIRE HOSE CABINET
 - 1000 FIRE HOSE CABINET
 - 1000 FIRE HOSE CABINET

- PLUMBING LEGEND:**
- SOIL PIPE ASIS CODE
 - WASTE PIPE ASIS CODE
 - PIPE DROP
 - PIPE RISE UP
 - FT = 150x150mm FLOOR TRAP
 - FD = FLOOR DRAIN
 - AD = ACCESS DOOR
 - UT = URINAL TRAP
 - V = VALVE
 - OUTLET 150x150mm FOR FT MIC UT
 - OUTLET 150x150mm FOR KIOSK WATER SUPPLY
 - (COP) CLEAN OUT PLUG
 - 1000 SOIL PIPE
 - 1000 WASTE PIPE
 - 1000 WASTE PIPE FOR SHOP
 - 1000 WASTE PIPE FOR KIOSK
 - 1000 WASTE PIPE FOR RESTAURANT
 - 750 VENT PIPE
 - 1500 RAIN WATER PIPE
 - 1500 CORRIDOR DRAIN PIPE
 - 1000 RAIN WATER PIPE
 - 2000 RAIN WATER PIPE
 - DOMESTIC WATER SUPPLY DOWN TAKE
 - FLUSHING WATER SUPPLY DOWN TAKE
 - DOMESTIC WATER SUPPLY RISER
 - FLUSHING WATER SUPPLY RISER
 - KHARRA 450x450mm
 - CHAMBER 300x300mm & 450x450mm

BASEMENT - 1 FLOOR

SCHEDULE OF DOOR WINDOW

S.NO.	TYPE	SIZE	SALL	LVL
1.	FD1	1000X2250	150	2400
2.	FD1a	750X2250	150	2400
3.	FD2	1250X2250	150	2400
4.	FD2a	1250X2250	150	2400
5.	FD2b	1500X2250	150	2400
6.	FD2c	1500X2250	150	2400
7.	FD3	2000X2400	150	2400
8.	FD3a	2000X2250	150	2400
9.	FD3b	2000X2100	150	2250
10.	FD9	1750X2250	150	2400
11.	D1	1000x2100	150	2250
12.	GD1	1200x2400	0	2400
13.	AD	750x1200	150	1350



BASEMENT-1 AREA CALCULATIONS

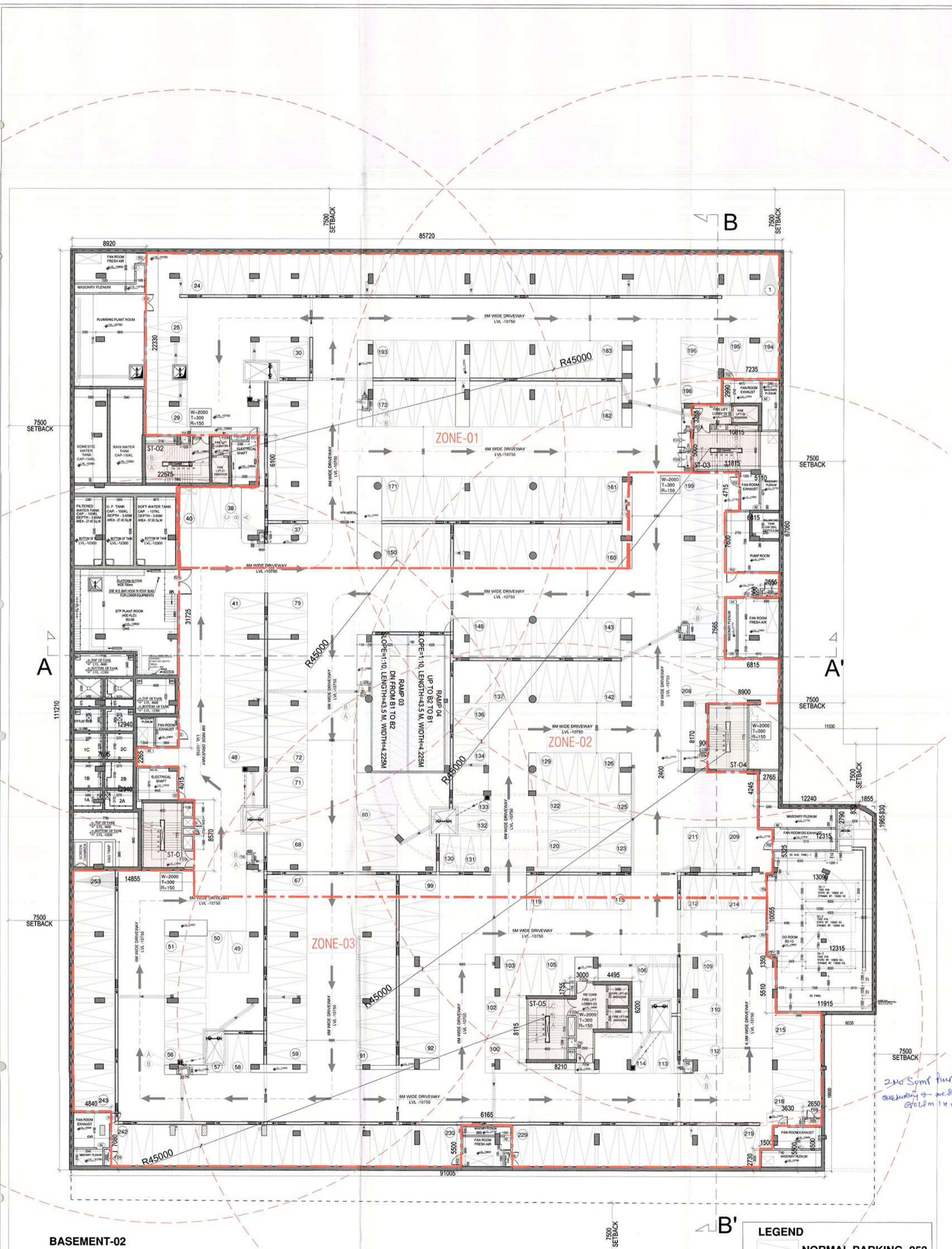
S. No.	COEFF.	WIDTH	LENGTH	NOS.	AREA IN SQMT
DEDUCTIONS					
1	1	11.350	65.775	1	745.231
2	1	2.960	9.250	1	27.430
3	1	3.944	1.000	1	3.944
4	1	4.630	12.360	1	57.237
5	1	4.355	4.410	1	19.205
6	1	13.550	1.000	1	13.550
7	1	8.360	8.075	1	67.547
TOTAL DEDUCTIONS (B)					
CUTOUT					
8	1	1.800	1.450	1	2.625
9	1	0.600	2.770	1	1.662
10	1	1.150	1.580	1	1.791
11	1	1.150	0.770	1	0.877
12	1	1.150	2.210	1	2.537
13	1	1.150	1.600	1	1.838
14	1	1.300	1.700	1	2.210
15	1	3.960	0.800	1	3.168
16	1	2.000	3.100	1	6.200
17	1	3.960	0.800	1	3.168
18	1	3.760	0.800	1	3.008
19	1	3.215	1.300	1	4.180
20	1	0.350	0.350	1	0.123
21	1	3.000	2.000	1	6.000
22	1	3.700	0.800	1	2.960
23	1	1.300	1.395	1	1.814
24	1	3.900	0.800	1	3.120
25	1	3.900	0.800	1	3.120
26	1	1.500	4.225	1	6.338
27	1	0.600	3.770	1	2.262
28	1	0.485	1.050	1	0.509
29	1	1.165	2.750	1	3.204
30	1	17.905	1.600	1	28.648
31	1	104.018	1.000	1	104.018
32	1	8.600	1.430	1	12.298
33	1	0.600	3.315	1	1.989
34	1	0.810	2.210	1	1.791
35	1	0.810	1.245	1	1.008
36	1	2.450	2.650	1	6.493
37	1	0.600	1.000	1	0.600
38	1	1.000	0.600	1	0.600
39	1	2.295	0.600	1	1.377
40	1	0.350	0.350	1	0.123
41	1	1.700	1.300	1	2.210
42	1	1.340	1.300	1	1.742
TOTAL DEDUCTIONS (C)					
SERVICE AREA					
S1	1	2.150	1.500	1	3.225
S2	1	2.100	2.150	1	4.515
S3	1	8.000	4.400	1	35.200
S4	1	12.030	3.415	1	41.082
S5	1	12.845	5.800	1	74.492
S6	1	7.935	15.450	1	122.472
S7	1	8.535	6.150	1	52.106
S7A	1	18.780	2.480	1	46.584
S8	1	21.430	4.430	1	94.935
S9	1	12.845	5.800	1	74.492
S11	1	8.000	13.420	1	107.280
S12	1	12.820	5.290	1	67.818
S13	1	7.230	13.055	1	94.026
S14	1	11.820	8.360	1	99.811
S16	1	5.885	7.845	1	46.099
S17	1	7.130	7.370	1	52.574
S17A	1	6.790	12.845	1	87.480
S18	1	12.725	8.770	1	111.591
S19	1	5.870	11.115	1	65.142
S20	1	2.960	3.060	1	9.058
S21	1	6.430	10.950	1	70.119
S22	1	2.295	6.360	1	14.605
S22A	1	1.165	2.295	1	2.674
S23	1	3.280	4.900	1	16.072
S24	1	6.430	12.850	1	82.621
S24a	1	0.200	5.100	1	1.020
S25	1	1.480	1.480	1	2.180
S26	1	7.385	2.000	1	14.770
S27	1	6.430	6.000	1	38.580
S28	1	6.035	6.200	1	37.410
S29	1	6.885	10.870	1	74.570
S30	1	4.240	2.000	1	8.480
S31	1	13.800	6.050	1	82.890
S32	1	9.585	1.350	1	12.940
S33	1	7.295	3.740	1	27.280
TOTAL DEDUCTIONS (C)					
NET BASEMENT-1 AREA = (A) - (B) + (C) = 9584.377					
NET AREA FOR PARKING = A + C = 9584.377					
PERM. PARKING @ 32 SQMT. = 248.861					
SAYS = 249					
PROPOSED CAR PARKING = 353					

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

ACPL
 ACPL Design Ltd
 PROJECT: REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.E. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR-70, GURGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

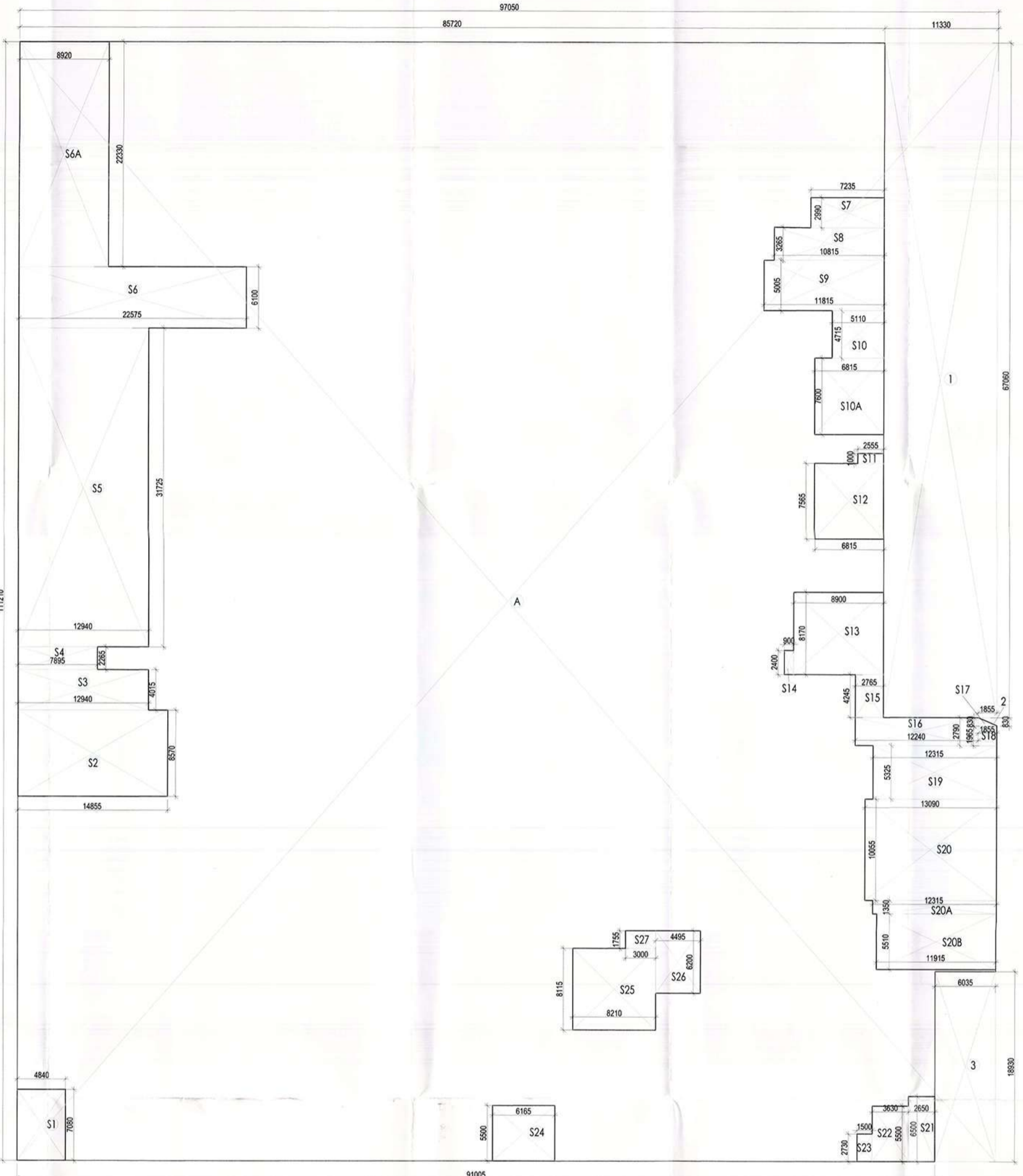
For ELAN LIMITED
 PROJECT MANAGER: KULDEEP SHARMA
 ARCHITECT'S SIGNATURE: [Signature]

BASEMENT-01 PLAN & AREA CALCULATIONS
 DRAWING NO. S-03 SCALE: 1:200



**BASEMENT-02
NO. OF CARS-253**

LEGEND
NORMAL PARKING=253



BASEMENT-2 AREA DIAGRAM
BASEMENT-02 NO. OF CARS-253

- GENERAL NOTES :**
- DRAWINGS IN PL & FF SERIES REPRESENTS PLUMBING AND FIRE SUPPRESSION SYSTEM.
 - IN CASE OF ANY DISCREPANCY IT SHOULD BE BROUGHT TO THE NOTICE OF ARCHITECT PROJECT MANAGER / CONSULTANT.
 - DRAWING SHOULD NOT BE SCALED.
 - ONLY WORKER DIMENSIONS TO BE FOLLOWED.
 - THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL LAND SCAPING, STRUCTURAL AND OTHER SERVICES DRAWING.
 - ALL SERVICES SHAFTS WILL BE SEALED AT EVERY FLOOR LEVEL AFTER INSTALLING SERVICES.
- PLUMBING LEGEND:**
- SOIL PIPE ASIS CODE
 - WASTE PIPE ASIS CODE
 - PIPE DROP
 - PIPE RISE UP
- FF = 110x110mm FLOOR TRAP**
FD = FLOOR DRAIN
AD = ACCESS DOOR
UT = URINAL TRAP
H = VALVE
***OUTLET 75X75mm FOR FTWC & UT**
***OUTLET 75X75mm FOR KIOSK WATER SUPPLY**
- COOP = CLEAN OUT PLUG**
- 1000 SOIL PIPE
 - 1000 WASTE PIPE
 - 1500 WASTE PIPE FOR SHOP
 - 1500 WASTE PIPE FOR KIOSK
 - 1500 WASTE PIPE FOR RESTAURANT
 - 750 VENT PIPE
 - 1500 RAIN WATER PIPE
 - 750 CORRIDOR DRAIN PIPE
 - 1000 RAIN WATER PIPE
 - 2000 RAIN WATER PIPE
 - DOMESTIC WATER SUPPLY DOWN TAKE
 - FLUSHING WATER SUPPLY DOWN TAKE
 - DOMESTIC WATER SUPPLY RISER
 - FLUSHING WATER SUPPLY RISER
 - KHURRA 450X450mm
 - CHAMBER 300X300MM & 450X450MM

- FIRE-FIGHTING LEGEND:**
- 1000 FIRE EXTINGUISHER
 - 1000 FIRE DRINK
 - 1000 FIRE SPRINKLER
 - FIRE HOSE CABINET
 - MANUAL FIRE EXTINGUISHER
 - 10 LITRE WATER TYPE FIRE EXTINGUISHER

**BASEMENT - 2 FLOOR
SCHEDULE OF DOOR WINDOW**

S.NO.	TYPE	SIZE	BILL	LABEL
1.	FD1	1000X2250	150	2400
2.	FD1a	750X2250	150	2400
3.	FD2	1250X2250	150	2400
4.	FD2a	1250X2250	150	2400
5.	FD3	2000X2400	00	2400
6.	FD3a	2000X2250	00	2400
7.	FD3c	2000X2250	150	2400
8.	FD7	3000X2850	150	3000
9.	FD7a	3500X2400	00	2400
10.	FD8	4000X2850	150	3000
11.	FD9	1750X2250	150	2400
12.	AD	750X1200	150	1350

BASEMENT-2 AREA CALCULATIONS

S. No.	COEFF.	WIDTH	LENGHTH	NOS.	AREA IN SQMT
A	1	97.05	111.21	1	10792.531
DEDUCTIONS					
1	1	11.33	87.06	1	759.790
2	0.5	1.855	8.330	1	0.770
3	1	6.035	18.930	1	114.243
TOTAL DEDUCTIONS (B) = 874.802					
SERVICE AREA					
S1	1	4.840	7.080	1	34.267
S2	1	14.855	8.570	1	127.307
S3	1	12.940	4.015	1	51.954
S4	1	7.895	2.265	1	17.863
S5	1	12.940	31.725	1	410.522
S6	1	22.575	6.100	1	137.708
S6A	1	8.920	22.330	1	199.184
S7	1	7.235	2.590	1	21.823
S8	1	10.815	3.265	1	35.311
S9	1	11.815	5.005	1	59.134
S10	1	5.110	4.715	1	24.094
S10A	1	6.815	7.600	1	51.754
S11	1	2.555	1.000	1	2.555
S12	1	6.815	7.565	1	51.555
S13	1	8.500	8.170	1	72.713
S14	1	0.900	2.400	1	2.160
S15	1	2.765	4.245	1	11.737
S16	1	12.240	2.790	1	34.150
S17	0.5	1.855	0.830	1	0.770
S18	1	1.855	1.965	1	3.645
S19	1	12.315	5.325	1	65.577
S20	1	13.990	10.055	1	131.820
S20A	1	12.315	1.350	1	11.000
S20B	1	11.915	5.510	1	65.652
S21	1	2.650	8.500	1	19.000
S22	1	3.630	5.500	1	19.965
S23	1	1.500	2.130	1	4.095
S24	1	6.165	5.500	1	33.908
S25	1	8.210	8.115	1	66.624
S26	1	4.495	8.500	1	27.569
S27	1	3.000	1.755	1	5.265
TOTAL DEDUCTIONS (C) = 1806.649					
NET BASEMENT-2 AREA = (A - B) = D = 9916.138					
NET AREA FOR PARKING = (D - E) = 811.480					
PERM. PARKING @ 32 SQMT. = 253.484					
SAYS = 253					
PROPOSED CAR PARKING = 253					

KEY PLAN

ORIENTATION

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

PRINCIPAL ARCHITECT:

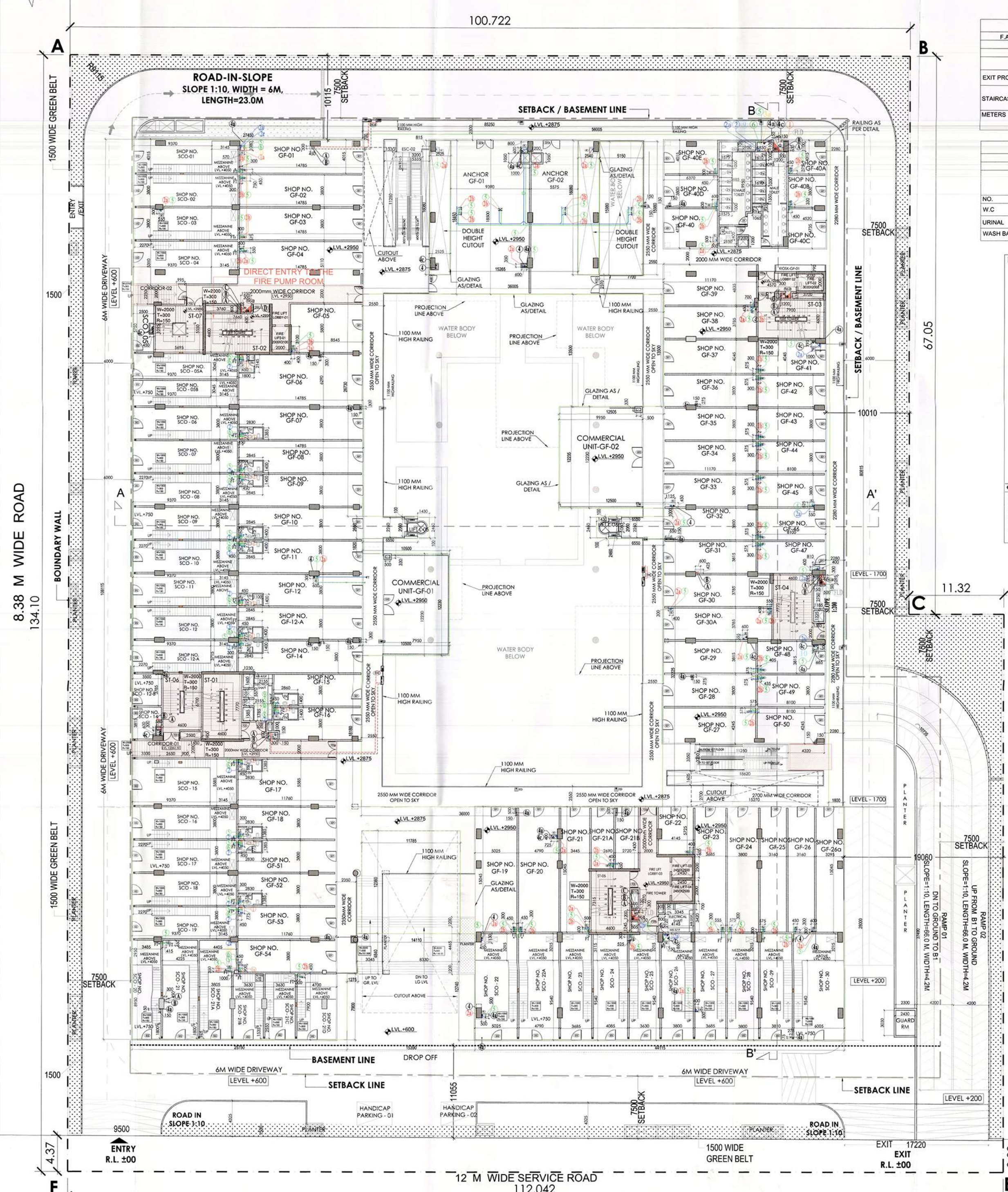
ACPL ACPL Design Ltd

PROJECT:

REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.E. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR-70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

DRAWING TITLE: BASEMENT-02 PLAN & AREA CALCULATIONS

DRAWING NO: S-02 **SCALE:** 1:200



100.722

8.38 M WIDE ROAD
134.10

1500 WIDE GREEN BELT

1500 WIDE GREEN BELT

4.37

B

67.05

11.32

67.05

3.80

EXIT WIDTH CALCULATION

F.A.R. AREA OF GROUND FLOOR :- 8763.349 SQM
 DENSITY ON GROUND FLOOR :- 1127 NO.
 UNIT WIDTH REQUIRED AS/ NBC :- 10 MM / PERSON
 TOTAL EXIT WIDTH REQUIRED :- 11270 MM

EXIT PROVIDED :-

STAIRCASE	ST-01	ST-02	ST-03	ST-04	ST-05	ST-06	ST-07	MAIN EXIT	CORRIDOR-1	CORRIDOR-2	TOTAL
METERS	2	2	2	2	2	2	2	3	2	2	21

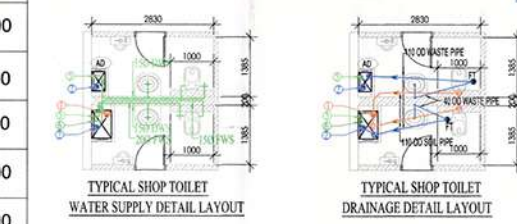
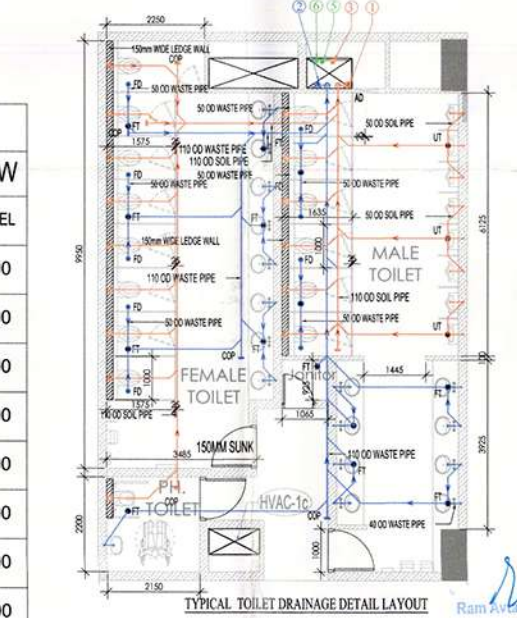
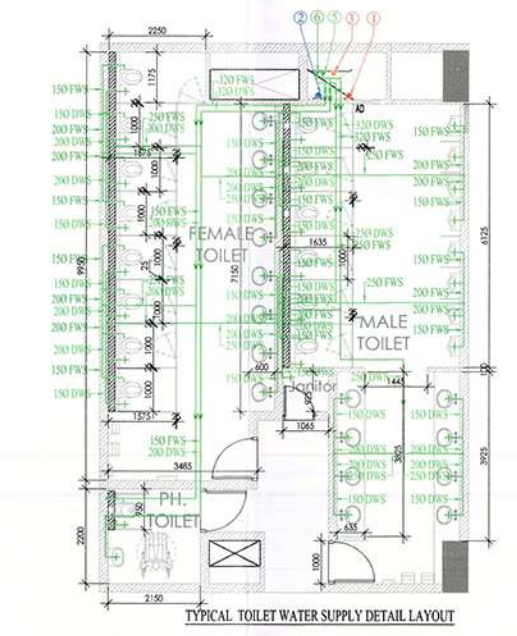
TOILET CALCULATION

F.A.R. AREA OF GROUND FLOOR :- 8763.349 SQM
 DENSITY ON GROUND FLOOR :- 1127 NO.

NO.	PERMANENT POPULATION (10%) = 113 PAX		FLOATING POPULATION(90%) = 1014 PAX		TOTAL REQUIRED		TOTAL PROVIDED	
	MALE(2/3)	FEMALE(1/3)	MALE(2/3)	FEMALE(1/3)	MALE	FEMALE	MALE	FEMALE
W.C	4	3	14	7	18	10	18	11
URINAL	4	-	14	-	18	-	20	-
WASH BASIN	4	3	14	7	18	10	20	11

- PLUMBING LEGEND:-**
- SOLI PIPE
 - WASTE PIPE
 - C = PIPE DROP
 - PIPE RISE UP
 - FT = FLOOR TRAP
 - FD = FLOOR DRAIN
 - AD = ACCESS DOOR
 - UT = URINAL TRAP
 - FLOOR CLEAN OUT
 - VALVE
 - CLEAN OUT PLUG
 - ① 110 OD UPVC SOLI PIPE
 - ② 110 OD UPVC WASTE PIPE FOR KITCHEN
 - ③ 110 OD VENT PIPE
 - ④ 110 OD UPVC RAIN WATER PIPE
 - ⑤ 75 OD CORRIDOR DRAIN PIPE
 - ⑥ 200 OD UPVC RAIN WATER PIPE
 - ⑦ DOMESTIC WATER SUPPLY
 - ⑧ FLUSHING WATER SUPPLY
 - ⑨ DOMESTIC WATER SUPPLY RISER
 - ⑩ FLUSHING WATER SUPPLY RISER
 - ⑪ SOFT WATER SUPPLY
 - ⑫ KHURRA 200x200mm CORRIDOR DRAIN
 - ⑬ KHURRA 450x450mm TERRACE
- GENERAL NOTES :-**
- TOILET AND BATH ROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN.
 - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
 - FIRE FIGHTING LAZERS PROVISION SHALL AS PER RELEVANT NBC PROVISIONS.
 - ALL TOILETS ARE VENTILATED AS PER HARYANA BUILDING CODE 2017.
 - RESERVATION AREA SHALL HAVE AN OCCUPANCY VENTILATION AS PER RELEVANT NBC.
 - BUILDING SHALL BE DESIGNED/STRUCTURED AS PER RELEVANT I.S. CODES FOR EARTHQUAKE RESISTANCE.
 - ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH CORRIDOR / BRIDGES.
 - SOLAR PANELS OR SOLAR CAPACITY SHALL BE PROVIDED ON ROOF FOR ALL PER HARYANA ZONING NORMS.
 - ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE IN 3/8" FIRE RATED WITH PROVISION OF SPRINKLER ON EXTERNAL SIDE OF THE SAME WALL.
 - ALL HANDICAP STAIRS WITH RAILING.

- FIRE LEGEND:-**
- FIRE HOSE CABINET
 - VALVE
 - COSTYPE FIRE EXTINGUISHERS 4.5KG
 - W.T. 9/16 WATER TYPE CO. FIRE EXTINGUISHER
 - FIRE HYDRANT PIPE
 - RAIN DRAIN PIPE
 - SPRINKLER PIPE
 - MAKE-UP LINE
 - FIRE DRAIN PIPE



GROUND FLOOR SCHEDULE OF DOOR WINDOW

S.NO.	TYPE	SIZE	SILL	LINTEL
1.	FD1	1000X2250	150	2400
2.	FD2	1250X2250	150	2400
3.	FD2a	1250X2250	150	2400
4.	FD2b	1250X2250	150	2400
5.	FD3	2000X2400	00	2400
6.	FD3a	2000X2400	00	2400
7.	GD1	1200X2400	00	2400
8.	GD1a	2000X2250	150	2400
9.	GD2	1200X2400	00	2400
10.	GD3	2000X2400	00	2400
11.	AD	As/shaft x1200	150	1350
12.	D1	1000x2100	00	2100
13.	D1a	750x2100	00	2100
14.	D2a	1000x2100	00	2100

NOTES

- ALL LIFTS SHALL HAVE 500W POWER BACK UP.
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
- FIRE FIGHTING LAZERS PROVISION SHALL AS PER RELEVANT NBC PROVISIONS.
- ALL TOILETS ARE VENTILATED AS PER HARYANA BUILDING CODE 2017.
- RESERVATION AREA SHALL HAVE AN OCCUPANCY VENTILATION AS PER RELEVANT NBC.
- BUILDING SHALL BE DESIGNED/STRUCTURED AS PER RELEVANT I.S. CODES FOR EARTHQUAKE RESISTANCE.
- ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH CORRIDOR / BRIDGES.
- SOLAR PANELS OR SOLAR CAPACITY SHALL BE PROVIDED ON ROOF FOR ALL PER HARYANA ZONING NORMS.
- ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE IN 3/8" FIRE RATED WITH PROVISION OF SPRINKLER ON EXTERNAL SIDE OF THE SAME WALL.
- ALL HANDICAP STAIRS WITH RAILING.

KEY PLAN

ORIENTATION

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

PRINCIPAL ARCHITECT: ACPL

ACPL Design Ltd

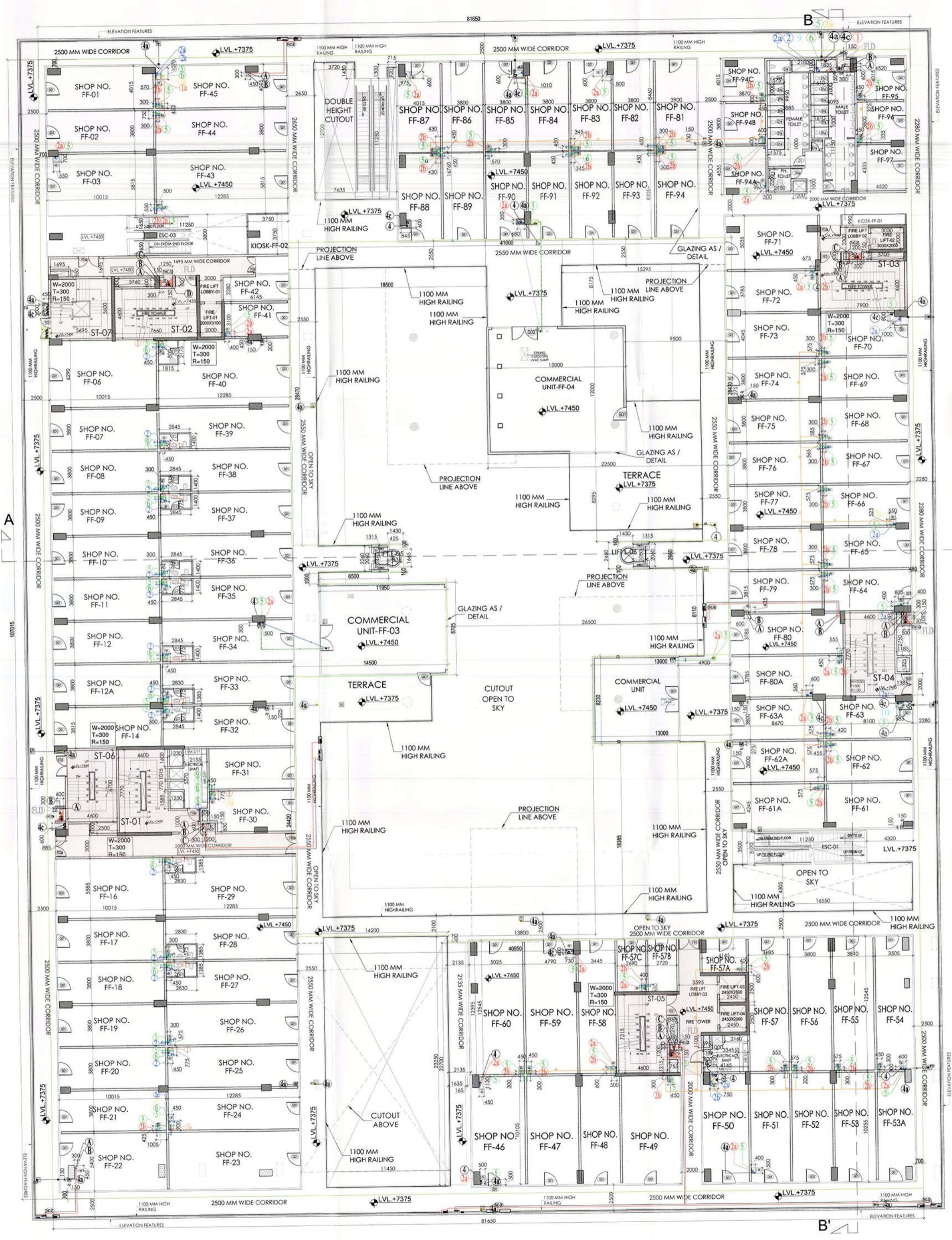
PROJECT: REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAIR BENEFIT ON TOTAL LICENCED AREA 16.4.0 ACRES) (I.C. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

OWNER AUTHORITY SIGNATURE: For ELAN LIMITED

ARCHITECT'S SIGNATURE: [Signature]

DRAWING TITLE: GROUND FLOOR PLAN

DRAWING NO.: S-05 **SCALE:** 1:180



TOILET CALCULATION

F.A.R. AREA OF FIRST FLOOR : - 5651.913 SQM
DENSITY ON FIRST FLOOR : - 942 NO.

NO.	PERMANENT POPULATION (10%) = 94 PAX		FLOATING POPULATION(90%) = 848 PAX		TOTAL REQUIRED		TOTAL PROVIDED	
	MALE(2/3)	FEMALE(1/3)	MALE(2/3)	FEMALE(1/3)	MALE	FEMALE	MALE	FEMALE
W.C	3	3	12	6	15	9	16	10
URINAL	3	-	12	-	15	-	18	-
WASH BASIN	3	3	12	6	15	9	18	10

- #### PLUMBING LEGEND:-
- SOIL PIPE
 - WASTE PIPE
 - C = PIPE DROP
 - O = PIPE RISE UP
 - FT = FLOOR TRAP
 - FD = FLOOR DRAIN
 - AD = ACCESS DOOR
 - UT = URINAL TRAP
 - VALVE
 - FCD = FLOOR CLEAN OUT
 - COP = CLEAN OUT PLUG
- 1) 110 OD UPVC SOIL PIPE
 - 2) 110 OD UPVC WASTE PIPE
 - 3) 110 OD UPVC WASTE PIPE FOR SHOP
 - 4) 160 OD UPVC WASTE PIPE FOR KIOSK
 - 5) 75 OD VENT PIPE
 - 6) 110 OD VENT PIPE
 - 7) 160 OD UPVC RAIN WATER PIPE
 - 8) 75 OD CORRIDOR DRAIN PIPE
 - 9) 200 OD UPVC RAIN WATER PIPE
 - 10) DOMESTIC WATER SUPPLY
 - 11) FLUSHING WATER SUPPLY
 - 12) DOMESTIC WATER SUPPLY RISER
 - 13) FLUSHING WATER SUPPLY RISER
 - 14) SOFT WATER SUPPLY RISER
 - 15) SOFT WATER SUPPLY
- KHURRA 200x200mm CORRIDOR DRAIN
 - KHURRA 450x450mm TERRACE
- #### GENERAL NOTES
1. TOILETS AS PER SPECIFICATIONS
 2. PLUMBING AND FIRE SUPPRESSION SYSTEMS TO BE INSTALLED AS PER SPECIFICATIONS AND TO BE BROUGHT TO THE NOTICE OF ARCHITECT IMMEDIATELY.
 3. SHOWER PAN SHALL BE 10% SLOPED.
 4. ONLY APPROVED MATERIALS TO BE USED.
 5. THE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH SPECIFICATIONS AND OTHER SERVICES DRAWINGS.
 6. ALL WORK SHALL BE DONE AS PER DRAWINGS AND SPECIFICATIONS.
 7. ALL WORK SHALL BE DONE AS PER DRAWINGS AND SPECIFICATIONS.

- #### FIRE LEGEND:-
- FIC FIRE HOSE CABINET
 - VALVE
 - CO2 TYPE FIRE EXTINGUISHERS 4.5KG.
 - W.T. 9 Lt. WATER TYPE CO2 FIRE EXTINGUISHER
 - 150 FIRE HYDRANT PIPE
 - 800 DRAIN PIPE
 - 150 SPRINKLER PIPE
 - 100 MAKE-UP LINE
 - FLD FIC DRAIN PIPE

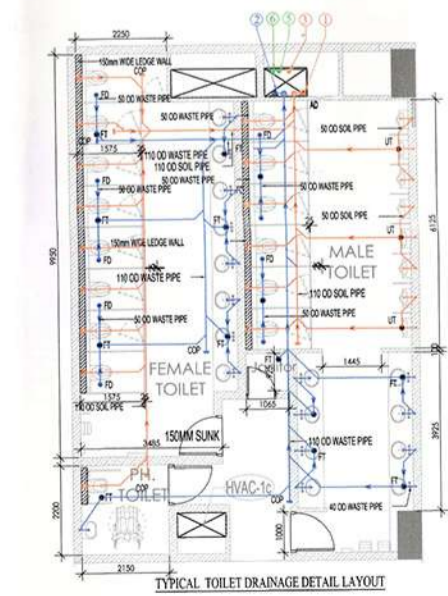
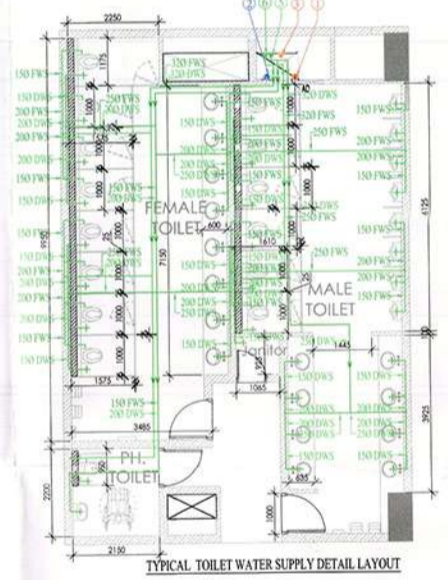
EXIT WIDTH CALCULATION

F.A.R. AREA OF FIRST FLOOR : - 5651.913 SQM
DENSITY ON FIRST FLOOR : - 942 NO.
UNIT WIDTH REQUIRED AS/ NBC : 10 MM / PERSON
TOTAL EXIT WIDTH REQUIRED : 9420 MM

EXIT PROVIDED :	ST-01	ST-02	ST-03	ST-04	ST-05	ST-06	ST-07	TOTAL
METERS	2	2	2	2	2	2	2	14

FIRST FLOOR SCHEDULE OF DOOR WINDOW

S.NO.	TYPE	SIZE	SILL	LINTEL
1.	FD1	1000X2250	150	2400
2.	FD1a	750X2250	150	2400
3.	FD2	1250X2250	150	2400
4.	FD2a	1250X2250	150	2400
5.	FD3	2000X2400	00	2400
6.	FD3a	2000X2250	150	2400
7.	FD4	1500X2400	00	2400
8.	GD1	1200X2400	00	2400
9.	GD1a	2000X2250	150	2400
10.	GD2	1200X2400	00	2400
11.	GD3	2000X2400	00	2400
12.	AD	As/shaftx1200	150	1350
13.	D1	1000x2100	00	2100
14.	D1a	750x2100	00	2100
15.	D2a	1000x2100	00	2100



This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

Principal Architect: *[Signature]*
Rama Srinivas AD(HQ)

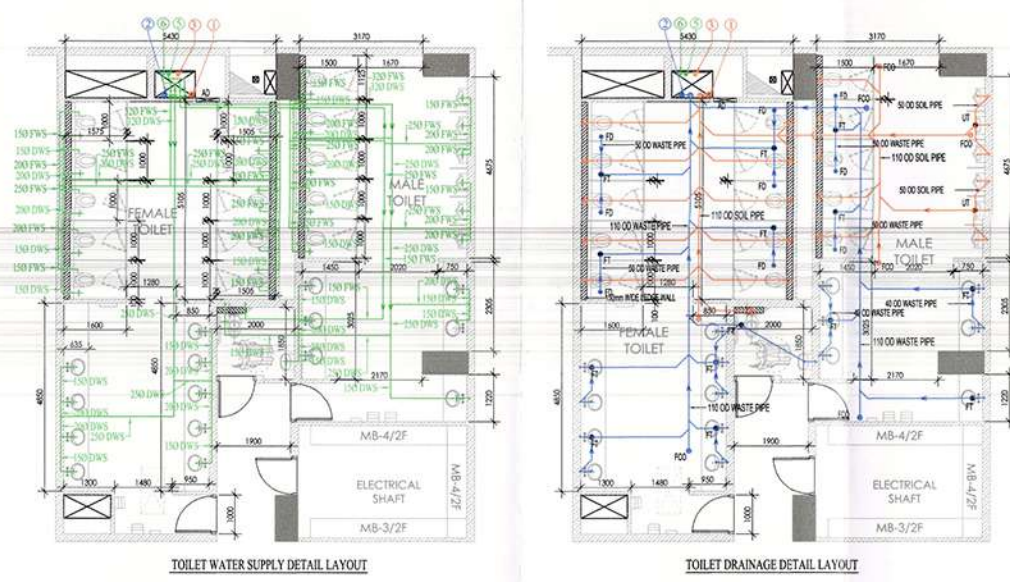
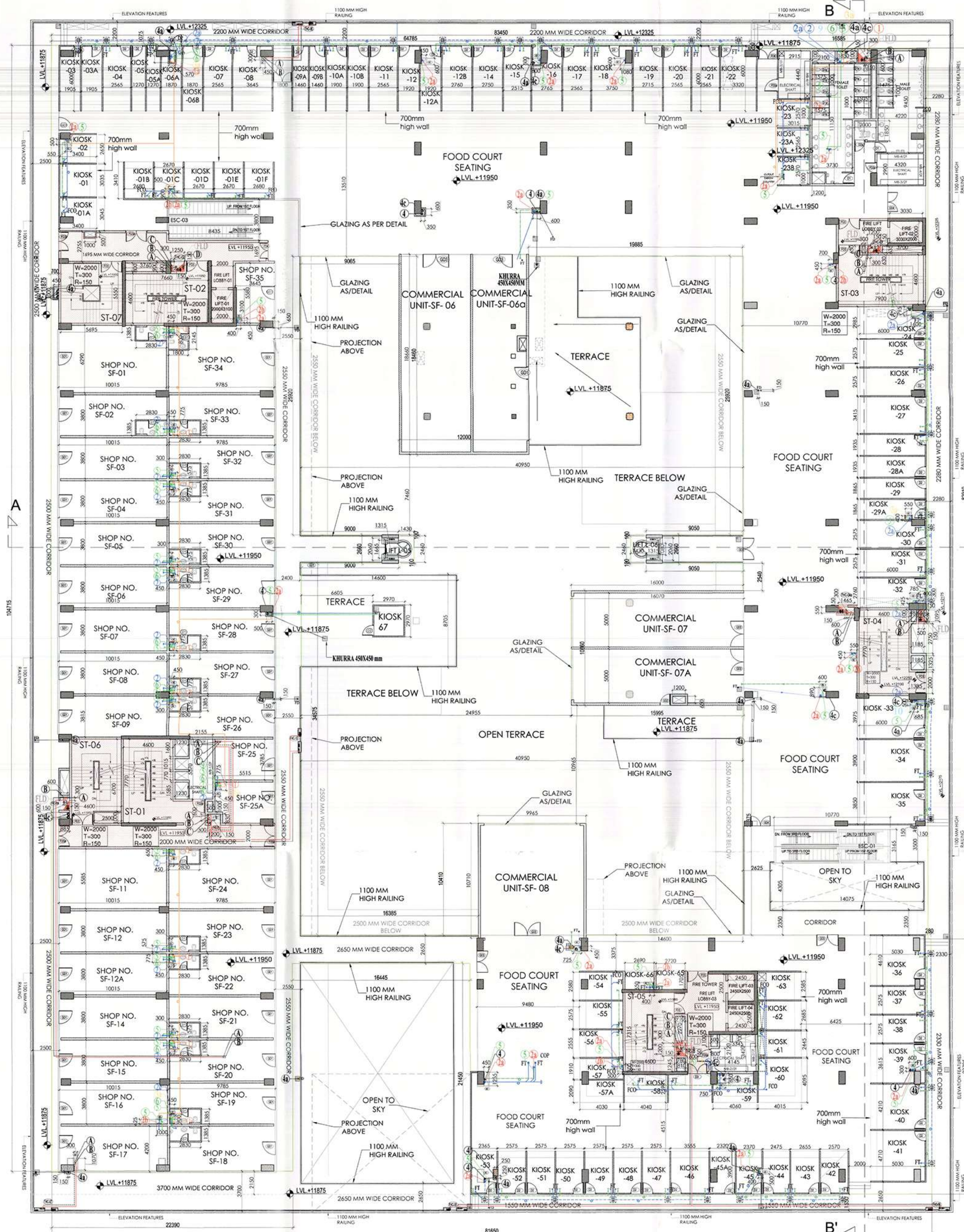
PROJECT: REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA (i.e. 4.0 ACRES) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

KEY PLAN ORIENTATION

PRINCIPAL ARCHITECT: **ACPL** Design Ltd
ACPL Design Ltd
100/9001-0008
100/9001-0008
100/9001-0008
100/9001-0008

OWNER AUTHORITY SIGNATURE: *[Signature]*
ARCHITECT'S SIGNATURE: *[Signature]*

DRAWING TITLE: **FIRST FLOOR PLAN**
DRAWING NO: S-06 SCALE: 1:150



EXIT WIDTH CALCULATION
 F.A.R. AREA OF SECOND FLOOR : 5794.907 SQM
 SHOPS & COMMEN AREA +KIOSK= 4682.77+1112.137
 DENSITY ON SECOND FLOOR : 780+617= 1397 NO
 UNIT WIDTH REQUIRED AS/ NBC : 10 MM / PERSON
 TOTAL EXIT WIDTH REQUIRED : 13970 MM

EXIT PROVIDED :

STAIRCASE	ST-01	ST-02	ST-03	ST-04	ST-05	ST-06	ST-07	TOTAL
METERS	2	2	2	2	2	2	2	14

SECOND FLOOR SCHEDULE OF DOOR WINDOW

S.NO.	TYPE	SIZE	SILL	LINTEL
1.	FD1	1000X2250	150	2400
2.	FD1a	750X2250	150	2400
3.	FD2	1250X2250	150	2400
4.	FD2a	1250X2250	150	2400
5.	FD3	2000X2400	00	2400
6.	FD3a	2000X2250	150	2400
7.	FD4	1500X2400	00	2400
8.	FD5	1000X2250	150	2400
9.	FD6	1800X2400	00	2400
10.	D1	1000X2100	00	2100
11.	D2	1000X2100	00	2100
12.	D1a	750x2100	00	2100
13.	D2a	1000x2100	00	2100
14.	GD1	1200X2250	150	2400
15.	GD2	1200X2400	00	2400
16.	GD3	2000X2400	00	2400
17.	GD4	1800X2400	00	2400
18.	AD	As/shaft x1200	150	1350

PLUMBING LEGEND:-

- SOIL PIPE
- WASTE PIPE
- C = PIPE DROP
- = PIPE RISE UP
- FT = FLOOR TRAP
- FD = FLOOR DRAIN
- AD = ACCESS DOOR
- UT = URINAL TRAP
- VA = VALVE
- FCO = FLOOR CLEAN OUT
- COP = CLEAN OUT PLUG
- ① 110 OD UPVC SOIL PIPE
- ② 110 OD UPVC WASTE PIPE
- ③ 110 OD UPVC WASTE PIPE FOR SHOP
- ④ 160 OD UPVC WASTE PIPE
- ⑤ 75 OD VENT PIPE
- ⑥ 110 OD VENT PIPE
- ⑦ 160 OD UPVC RAIN WATER PIPE
- ⑧ 75 OD CORRIDOR DRAIN PIPE
- ⑨ 200 OD UPVC RAIN WATER PIPE
- ⑩ DOMESTIC WATER SUPPLY
- ⑪ FLUSHING WATER SUPPLY
- ⑫ DOMESTIC WATER SUPPLY RISER
- ⑬ FLUSHING WATER SUPPLY RISER
- ⑭ SOFT WATER SUPPLY RISER
- ⑮ SOFT WATER SUPPLY
- KHURRA 200x200mm CORRIDOR DRAIN
- KHURRA 450x450mm TERRACE

GENERAL NOTES:

- WORKING IN ALL AREAS SUBJECT TO THE EXISTING STRUCTURE AND SERVICES.
- THE WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS.
- ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL LAWS AND REGULATIONS.
- ALL SERVICES SHALL BE PROTECTED AND NOT TO BE DAMAGED.
- ALL SERVICES SHALL BE TESTED AND COMMISSIONED AS PER THE REQUIREMENTS.

FIRE LEGEND:-

- FHC FIRE HOSE CABINET
- VALVE
- CO2 TYPE FIRE EXTINGUISHERS 4.5KG
- 9Lb. WATER TYPE CO2 FIRE EXTINGUISHER
- ① 150 FIRE HYDRANT PIPE
- ② 800 DRAIN PIPE
- ③ 150 SPRINKLER PIPE
- ④ 100 MAKE-UP LINE
- ⑤ FHC DRAIN PIPE

TOILET CALCULATION
 F.A.R. AREA OF SECOND FLOOR : 5794.907 SQM
 DENSITY ON SECOND FLOOR : 966 NO.

NO.	PERMANENT POPULATION (10% = 97 PAX)		FLOATING POPULATION (90%) = 889 PAX		TOTAL REQUIRED		TOTAL PROVIDED	
	MALE(2/3)	FEMALE(1/3)	MALE(2/3)	FEMALE(1/3)	MALE	FEMALE	MALE	FEMALE
W.C	3	3	12	6	15	9	21	12
URINAL	3	-	12	-	15	-	22	-
WASH BASIN	3	3	12	6	15	9	22	11

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

Principal Architect: *[Signature]*
 Member Secretary: *[Signature]*
 Member: *[Signature]*

NOTES:

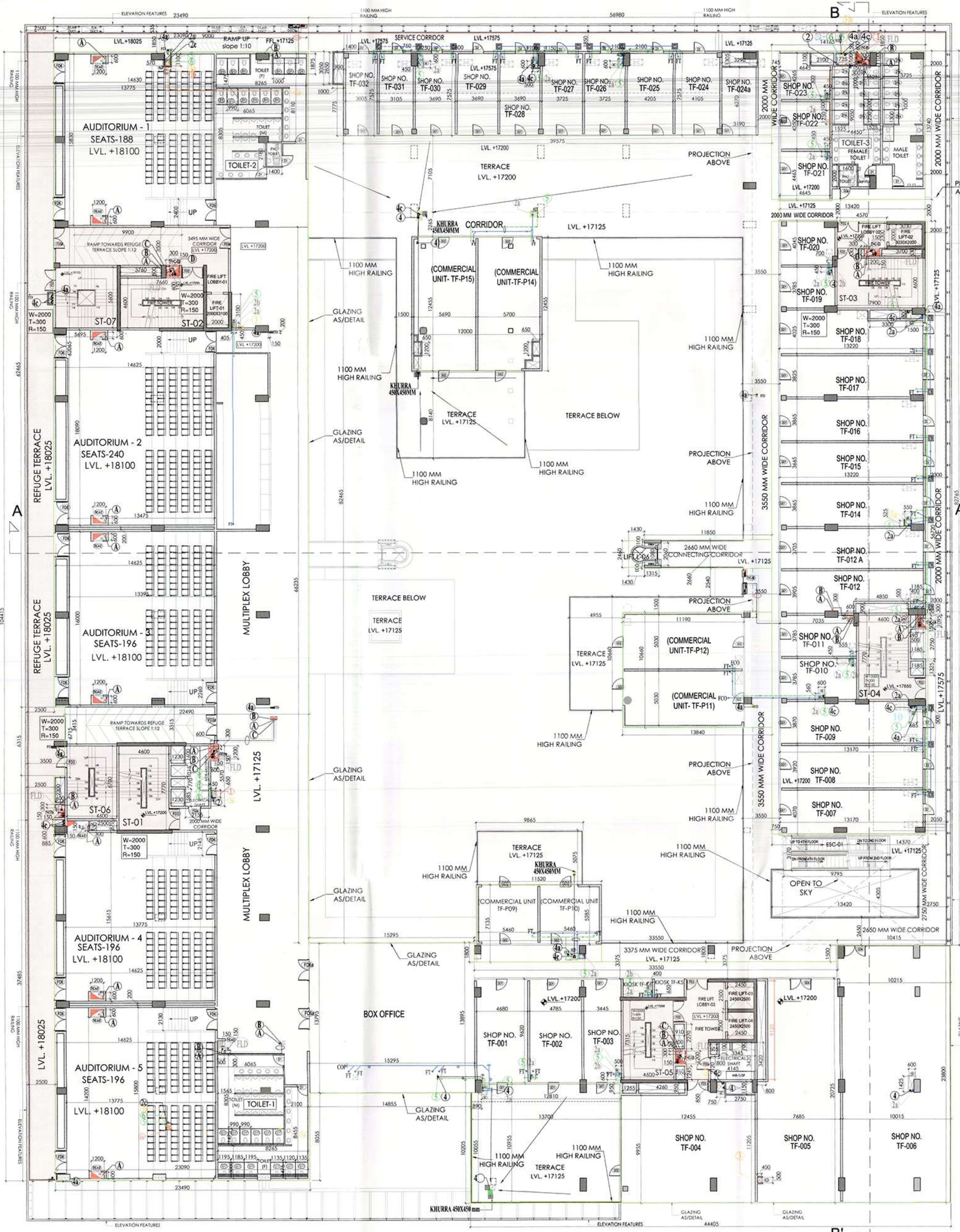
- ALL LIFTS SHALL HAVE 100% POWER BACK UP.
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF IEC.
- FIRE FIGHTING / SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
- ALL TOILETS ARE VENTILATED AS PER HARYANA BUILDING CODE 2017.
- BUILDING HAS AUTOMATIC SPRINKLER SYSTEM WHEREVER REQUIRED BY NBC.
- BUILDING WILL BE DESIGNATED STRUCTURE AS PER RELEVANT S. CODES FOR EARTHQUAKE RESISTANCE.
- ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH CORRIDOR / BRIDGES.
- SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER RESIDENTIAL APARTMENT SHOULD BE IN 1 HR. FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
- ALL HANDICAP RAMP WITH RAILING.



ACPL
 ACPL Design Ltd
 150/150/150
 150/150/150
 150/150/150

REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.E. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR-70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

For ELAN LIMITED
 Authorized Signatory
 OWNER/RAILTY SIGNATURE
 ARCHITECT'S SIGNATURE



FIRE LEGEND:-

- 1. FHC FIRE HOSE CABINET
- 2. VALVE
- 3. CO2 TYPE FIRE EXTINGUISHERS 4.5KG
- 4. W.T. WATER TYPE CO2 FIRE EXTINGUISHER
- 5. 1500 FIRE HYDRANT PIPE
- 6. 800 DRAIN PIPE
- 7. 1500 SPINKLER PIPE
- 8. 1000 MAKE-UP LINE
- 9. FHC DRAIN PIPE

PLUMBING LEGEND:-

- 1. SOIL PIPE
- 2. WASTE PIPE
- 3. PIPE DROP
- 4. PIPE RISE UP
- 5. FLOOR TRAP
- 6. FLOOR DRAIN
- 7. ACCESS DOOR
- 8. URINAL TRAP
- 9. VALVE
- 10. FLOOR CLEAN OUT
- 11. CLEAN OUT PLUG
- 12. 110 OD UPVC SOIL PIPE
- 13. 110 OD UPVC WASTE PIPE
- 14. 110 OD UPVC WASTE PIPE FOR SHOP
- 15. 160 OD UPVC WASTE PIPE FOR KITCHEN
- 16. 75 OD VENT PIPE
- 17. 110 OD VENT PIPE
- 18. 160 OD UPVC RAIN WATER PIPE
- 19. 75 OD CORRIDOR DRAIN PIPE
- 20. 200 OD UPVC RAIN WATER PIPE
- 21. DOMESTIC WATER SUPPLY
- 22. FLUSHING WATER SUPPLY
- 23. DOMESTIC WATER SUPPLY RISER
- 24. FLUSHING WATER SUPPLY RISER
- 25. SOFT WATER SUPPLY RISER
- 26. KHUSRA 200x200mm CORRIDOR DRAIN
- 27. KHUSRA 450x450mm TERRACE

GENERAL NOTES:

1. DRAWING IN A.P.P. FORMS SUBJECT TO APPROVAL BY THE COMPETENT AUTHORITY.
2. RELEASE OF ANY DOCUMENTS SHALL BE SUBJECT TO THE SIGNATURE OF THE ARCHITECT.
3. DRAWING SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.
5. ALL SERVICES SHALL BE Laid AT EACH FLOOR LEVEL AS PER THE DRAWING.

THIRD FLOOR SCHEDULE OF DOOR WINDOW

S.NO.	TYPE	SIZE	SILL	INTEL
1.	FD1	1000X2250	150	2400
2.	FD1a	750X2250	150	2400
3.	FD2	1250X2250	150	2400
4.	FD2a	1250X2250	150	2400
5.	FD3	2000X2400	00	2400
6.	FD3a	2000X2250	150	2400
7.	FD4	1500X2400	00	2400
8.	FD5	1000X2250	150	2400
9.	FD6	2000X2400	00	2400
10.	FD6a	2000X2400	00	2400
11.	D1	1000X2100	00	2100
12.	D2	1000X2100	00	2100
13.	D1a	750x2100	00	2100
14.	D2a	1000x2100	00	2100
15.	GD1	1000X2400	00	2400
16.	GD2	1200X2400	00	2400
17.	GD3	2000X2400	00	2400
18.	GD4	2000X2400	00	2400
19.	AD	As/shaft x1200	150	1350

THIRD FLOOR OCCUPANT CALCULATION

RETAIL	2419.500 SQ.M.
AUDI	508 SEATS
OCCUPANT LOAD	
RETAIL	0.5 SQ.M/PERSON
AUDI	1.2 SQ.M/PERSON
POPULATION	
RETAIL	483 PERSON
AUDI	424 PERSON
TOTAL	1013 PERSON

REFUGE AREA CALCULATION

TOTAL GROSS AREA OF FLOOR = 2658.787 SQ.M.
 REFUGE AREA REQUIRED 10% OF GROSS AREA = 265.878 SQ.M.
 TOTAL NO. OF SEATS=1016
 OCCUPANT LOAD=1.2
 OCCUPANCY=1016X1.2=1219.2 SAY 1220 PERSON
 WHEEL CHAIR SPACE FOR EVERY 200 OCCUPANTS=0.9 SQ. MT.
 FOR 1220 OCCUPANCY REFUGE AREA FOR WHEEL CHAIR SPACE=7 X 0.9=6.3 SQ.MT.
 TOTAL REFUGE AREA REQUIRED = 265.8 + 6.3=272.1 SQ.MT.
 REFUGE AREA PROVIDED = 271.978 SQ.M.

TOILET CALCULATION

F.A.R. AREA OF THIRD FLOOR : 3715.593 SQ.M.
 DENSITY ON THIRD FLOOR AUDI : 1219 NO.

NO.	PERMANENT POPULATION (10%) = 122 PAX		FLOATING POPULATION(90%) = 1097 PAX		TOTAL REQUIRED		TOTAL PROVIDED	
	MALE(2/3)	FEMALE(1/3)	MALE(2/3)	FEMALE(1/3)	MALE	FEMALE	MALE	FEMALE
W.C	5	4	6	4	11	8	12	12
URINAL	4	-	30	-	34	-	36	-
WASH BASIN	5	4	4	2	9	6	11	12

TOILET CALCULATION

F.A.R. AREA OF THIRD FLOOR RETAIL : 2419.500 SQ.M.
 DENSITY ON THIRD FLOOR RETAIL : 403 NO.

NO.	PERMANENT POPULATION (10%) = 40 PAX		FLOATING POPULATION(90%) = 363 PAX		TOTAL REQUIRED		TOTAL PROVIDED	
	MALE(2/3)	FEMALE(1/3)	MALE(2/3)	FEMALE(1/3)	MALE	FEMALE	MALE	FEMALE
W.C	2	2	5	3	7	5	7	10
URINAL	2	-	5	-	7	-	8	-
WASH BASIN	2	2	5	3	7	5	7	7

EXIT WIDTH CALCULATION RETAIL

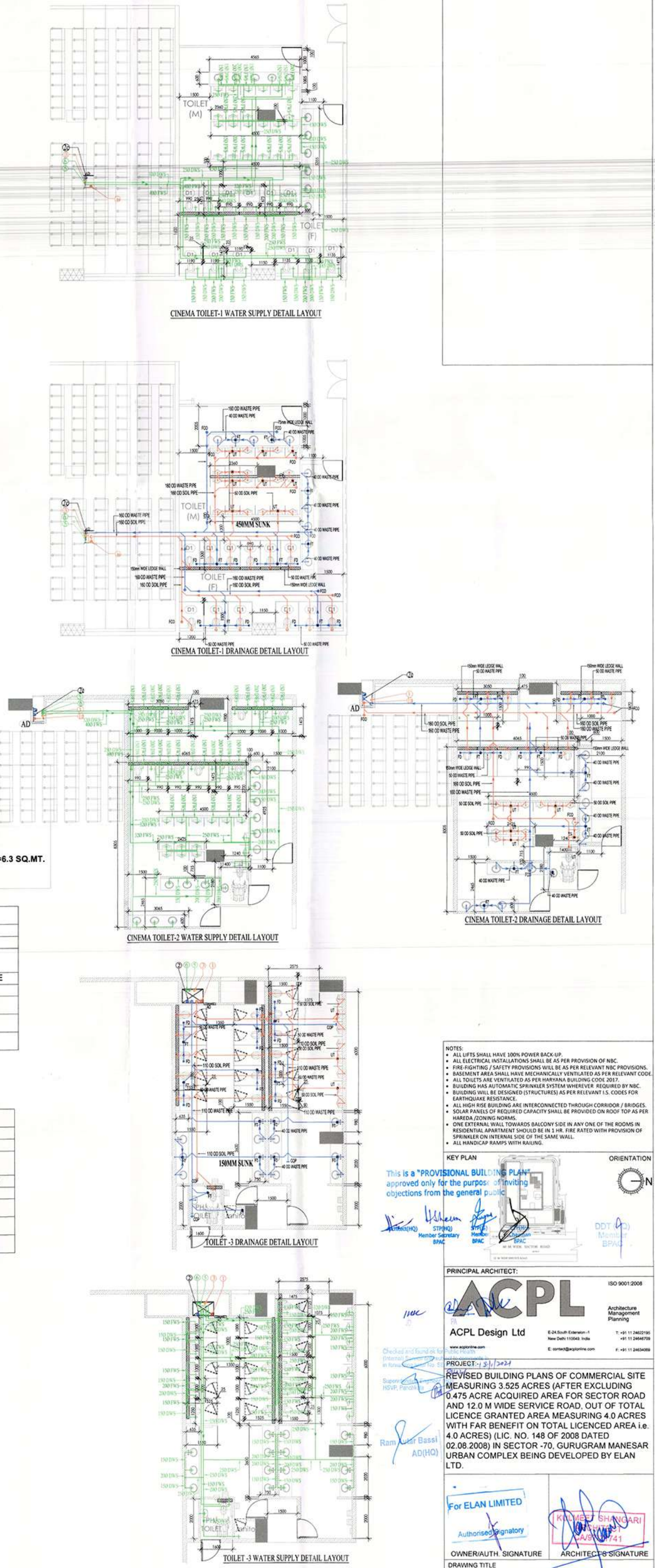
F.A.R. AREA OF THIRD FLOOR : 3715.593 SQ.M.
 F.A.R. AREA OF THIRD FLOOR RETAIL : 2419.500 SQ.M.
 DENSITY ON THIRD FLOOR RETAIL : 403 NO.
 UNIT WIDTH REQUIRED AS/ NBC : 10 MM / PERSON
 TOTAL EXIT WIDTH REQUIRED : 4030 MM

EXIT PROVIDED :				
STAIRCASE	ST-03	ST-04	ST-05	TOTAL
METERS	2	2	2	6

EXIT WIDTH CALCULATION AUDI

F.A.R. AREA OF THIRD FLOOR : 3715.593 SQ.M.
 DENSITY ON THIRD FLOOR AUDI : 610 NO.
 UNIT WIDTH REQUIRED AS/ NBC : 10 MM / PERSON
 TOTAL EXIT WIDTH REQUIRED : 6100 MM

EXIT PROVIDED :					
STAIRCASE	ST-01	ST-02	ST-06	ST-07	TOTAL
METERS	2	2	2	2	8



NOTES:

1. ALL LIFTS SHALL HAVE 100% POWER BACK-UP.
2. ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC.
3. FIRE FIGHTING SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
4. BASEMENT AREA SHALL HAVE MECHANICAL VENTILATION AS PER RELEVANT CODE.
5. ALL TOILETS ARE VENTILATED AS PER NATIONAL BUILDING CODE, 2017.
6. BUILDING HAS AUTOMATIC SPINKLER SYSTEM WHEREVER REQUIRED BY NBC.
7. BUILDING SHALL BE DESIGNATED STRUCTURES AS PER RELEVANT IS CODES FOR SEISMIC ZONING.
8. ALL HIGH RISE BUILDING ARE INTERCONNECTED THROUGH CORRIDOR / STAIRS.
9. SCALP PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER NATIONAL BUILDING CODE.
10. ALL EXTERNAL WALL TOWARDS BACKYARD SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE IN FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
11. ALL HANDICAP RAMPS WITH RAILINGS.

KEY PLAN

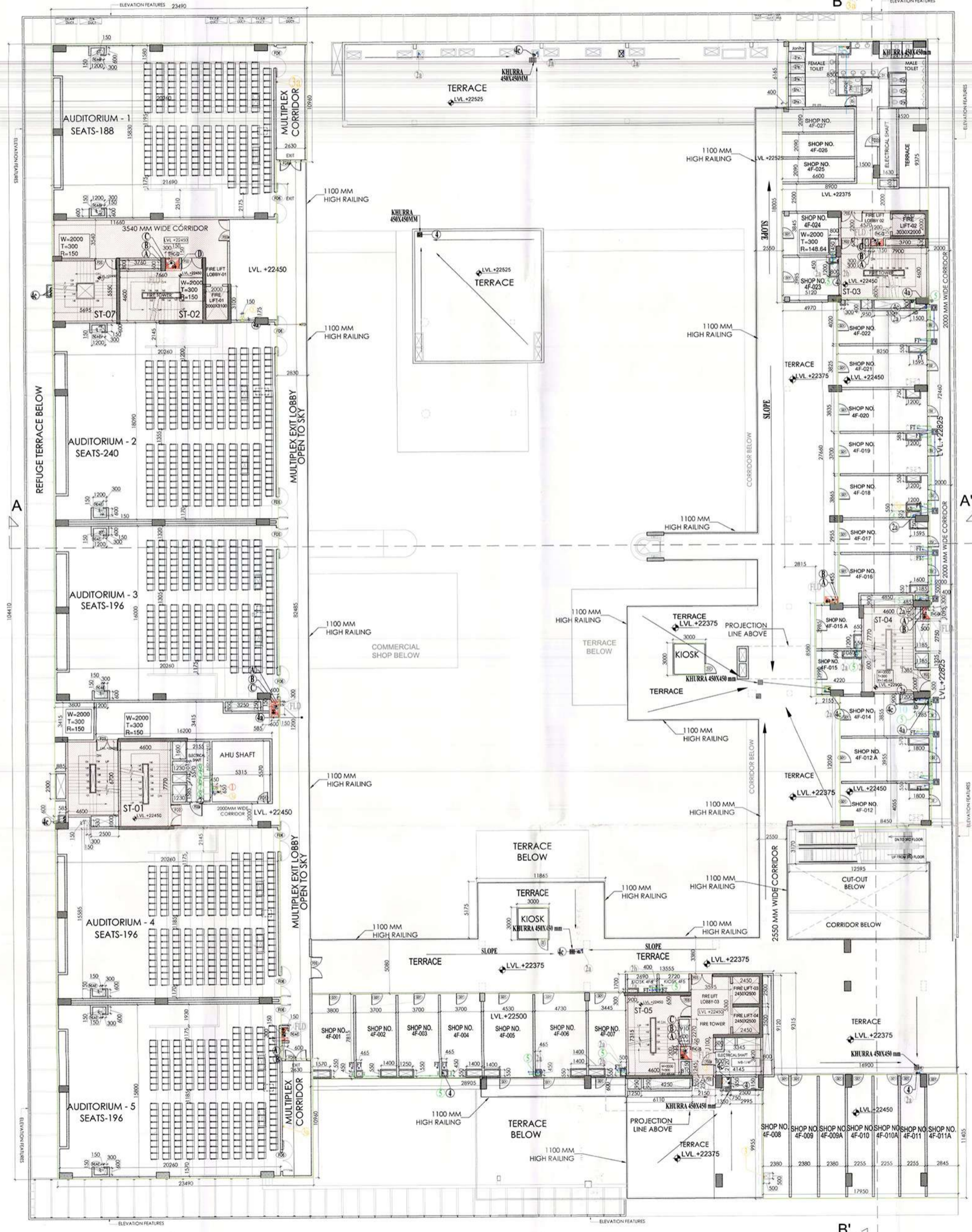
This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of obtaining objections from the general public.

PRINCIPAL ARCHITECT:
ACPL Design Ltd
 150/1001/2008
 475 ACRES ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.e. 4.0 ACRES (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR-70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

OWNER/AUTH. SIGNATURE:
ARCHITECT'S SIGNATURE:

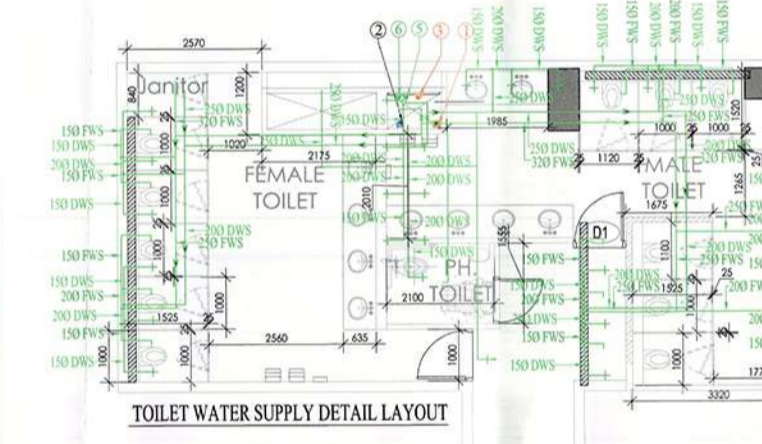
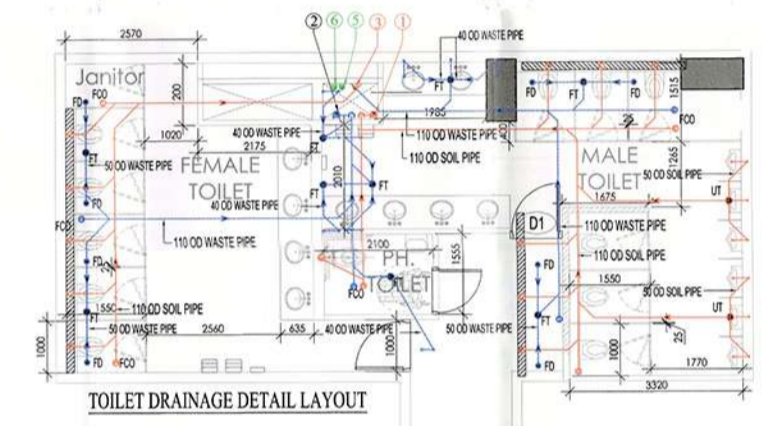
THIRD FLOOR PLAN

DRAWING NO. S-08 SCALE : 1:150



**FOURTH FLOOR
SCHEDULE OF DOOR WINDOW**

S.NO.	TYPE	SIZE	SILL	LINTEL
1.	FD1	1000X2250	150	2400
2.	FD1a	750X2250	150	2400
3.	FD2	1250X2250	150	2400
4.	FD2a	1250X2250	150	2400
5.	FD3	2000X2400	00	2400
6.	FD3a	2000X2250	150	2400
7.	FD4	1500X2400	00	2400
8.	FD5	1000X2250	150	2400
9.	FD6	2000X2400	00	2400
10.	FD6a	2000X2400	00	2400
11.	D1	1000X2100	00	2100
12.	D2	1000X2100	00	2100
13.	D1a	750x2100	00	2100
14.	D2a	1000x2100	00	2100
15.	GD1	1200X2250	150	2400
16.	GD2	1200X2400	00	2400
17.	GD3	2000X2400	00	2400
18.	AD	As/shaft x1200	150	1350



- PLUMBING LEGEND:-**
- SOIL PIPE
 - WASTE PIPE
 - PIPE DROP
 - PIPE RISE UP
 - FLOOR TRAP
 - FLOOR DRAIN
 - ACCESS DOOR
 - URINAL TRAP
 - VALVE
 - FLOOR CLEAN OUT
 - CLEAN OUT PLUG
 - 110 OD uPVC SOIL PIPE
 - 110 OD uPVC WASTE PIPE
 - 110 OD uPVC WASTE PIPE FOR SHOP
 - 160 OD uPVC WASTE PIPE FOR KIOSK
 - 75 OD VENT PIPE
 - 110 OD VENT PIPE
 - 160 OD uPVC RAIN WATER PIPE
 - 75 OD CORRIDOR DRAIN PIPE
 - 200 OD uPVC RAIN WATER PIPE
 - DOMESTIC WATER SUPPLY
 - FLUSHING WATER SUPPLY
 - DOMESTIC WATER SUPPLY RISER
 - FLUSHING WATER SUPPLY RISER
 - SOFT WATER SUPPLY RISER
 - SOFT WATER SUPPLY
 - KHURRA 200x200mm CORRIDOR DRAIN
 - KHURRA 450x450mm TERRACE

- FIRE LEGEND:-**
- FIRE HOSE CABINET
 - VALVE
 - CO2 TYPE FIRE EXTINGUISHERS 4.5KG.
 - W.T. 1Ltr. WATER TYPE CO2 FIRE EXTINGUISHER
 - 150 FIRE HYDRANT PIPE
 - 80 DRAIN PIPE
 - 150 SPARKLER PIPE
 - 110 MAKE-UP LINE
 - FIC DRAIN PIPE

FOURTH FLOOR OCCUPANT CALCULATION

RETAIL	1077.864 SQ.M.
AUDI	508 SEATS
OCCUPANT/LOAD	6 SQ.M/PERSON
RETAIL	1.25 SQ.M/PERSON
POPULATION	180 PERSON
RETAIL	180 PERSON
AUDI	610 PERSON
TOTAL	790 PERSON

GENERAL NOTES:

- SHOWING ALL FIRE RISERS, RISERS, PLUMBING AND FIRE EXTINGUISHERS.
- IN CASE OF ANY DISCREPANCY IT SHOULD BE BROUGHT TO THE NOTICE OF PROJECT ARCHITECT IMMEDIATELY.
- DO NOT REMOVE ANY OF THE RISERS.
- ALL RISERS SHOULD BE PROTECTED AS PER RELEVANT CODE.
- ALL RISERS SHOULD BE PROTECTED AS PER RELEVANT CODE.
- ALL RISERS SHOULD BE PROTECTED AS PER RELEVANT CODE.
- ALL RISERS SHOULD BE PROTECTED AS PER RELEVANT CODE.
- ALL RISERS SHOULD BE PROTECTED AS PER RELEVANT CODE.

EXIT WIDTH CALCULATION RETAIL

F.A.R. AREA OF FOURTH FLOOR : 3083.334 SQM
 F.A.R. AREA OF FOURTH FLOOR RETAIL : 1077.864 SQM
 DENSITY ON FOURTH FLOOR RETAIL : 180 NO.
 UNIT WIDTH REQUIRED AS/ NBC : 10 MM / PERSON
 TOTAL EXIT WIDTH REQUIRED : 1800 MM

EXIT PROVIDED :

STAIRCASE	ST-03	ST-04	ST-05	TOTAL
METERS	2	2	2	6

EXIT WIDTH CALCULATION AUDI

F.A.R. AREA OF FOURTH FLOOR : 3083.334 SQM
 DENSITY ON FOURTH FLOOR AUDI : 610 NO.
 UNIT WIDTH REQUIRED AS/ NBC : 10 MM / PERSON
 TOTAL EXIT WIDTH REQUIRED : 6100 MM

EXIT PROVIDED :

STAIRCASE	ST-01	ST-02	ST-06	ST-07	TOTAL
METERS	2	2	2	2	8

TOILET CALCULATION

F.A.R. AREA OF FOURTH FLOOR RETAIL : 1077.864 SQM
 DENSITY ON FOURTH FLOOR RETAIL : 180 NO.

NO.	PERMANENT POPULATION (10%) = 18 PAX		FLOATING POPULATION(80%) = 162 PAX		TOTAL REQUIRED		TOTAL PROVIDED	
	MALE(2/3)	FEMALE(1/3)	MALE(2/3)	FEMALE(1/3)	MALE	FEMALE	MALE	FEMALE
WC	1	1	3	2	4	3	6	5
URINAL	1	-	3	-	4	-	6	-
WASH BASIN	1	1	3	2	4	3	6	4

NOTES:

- ALL RISERS SHALL HAVE 100% POWER BACK-UP.
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
- FIRE EXTINGUISHERS, SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
- BASIN/STAIR AREA SHALL HAVE MECHANICAL VENTILATION AS PER RELEVANT CODE.
- ALL TOILETS ARE VENTILATED AS PER RELEVANT BUILDING CODE 2017.
- BUILDING HAS AUTOMATIC SPRINKLER SYSTEM WHEREVER REQUIRED BY NBC.
- BUILDING SHALL BE DESIGNED STRUCTURE AS PER RELEVANT I.E. CODE FOR EARTHQUAKE RESISTANCE.
- ALL HIGH RISE BUILDING ARE INTERCONNECTED THROUGH CORRIDOR OR BRIDGES.
- SOIL PIPES OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER HANDBOOK CONTAINING.
- UNDERGROUND WATER MAINS BACKUP PIPE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE IN 1/2" FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
- ALL MANHOLE RAMP WITH RAILING.

KEY PLAN

ORIENTATION

This is a **PROVISIONAL BUILDING PLAN** approved only for the purpose of inviting objections from the general public.

ACPL Architecture & Planning

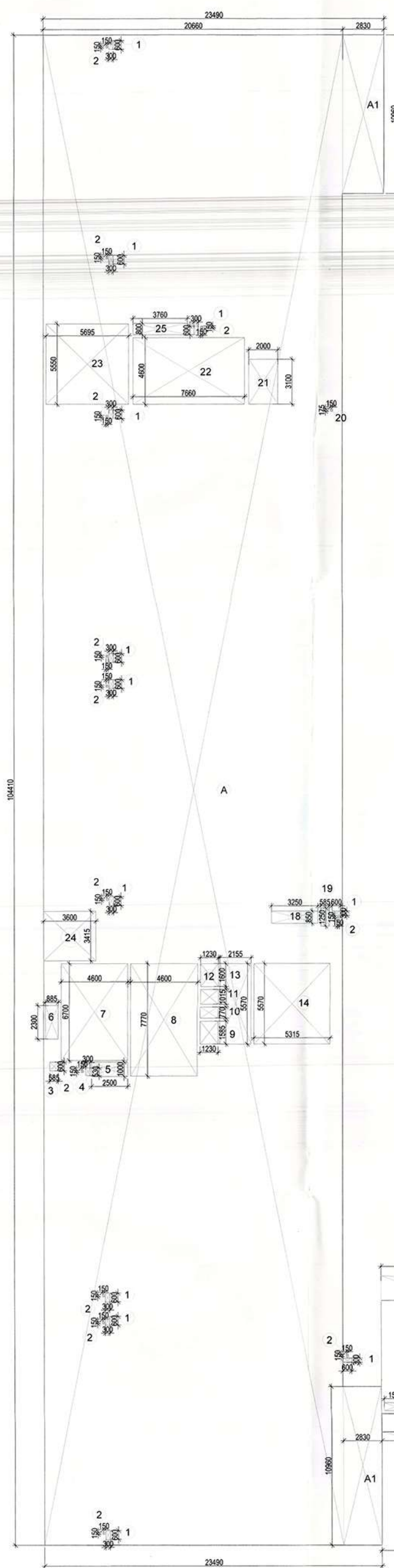
ACPL Design Ltd.

PROJECT: REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENSE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENSED AREA I.E. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR-70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

OWNER/AUTH. SIGNATURE: *[Signature]* ARCHITECT'S SIGNATURE: *[Signature]*

DRAWING TITLE: **FOURTH FLOOR PLAN**

DRAWING NO: S-09 SCALE: 1:150

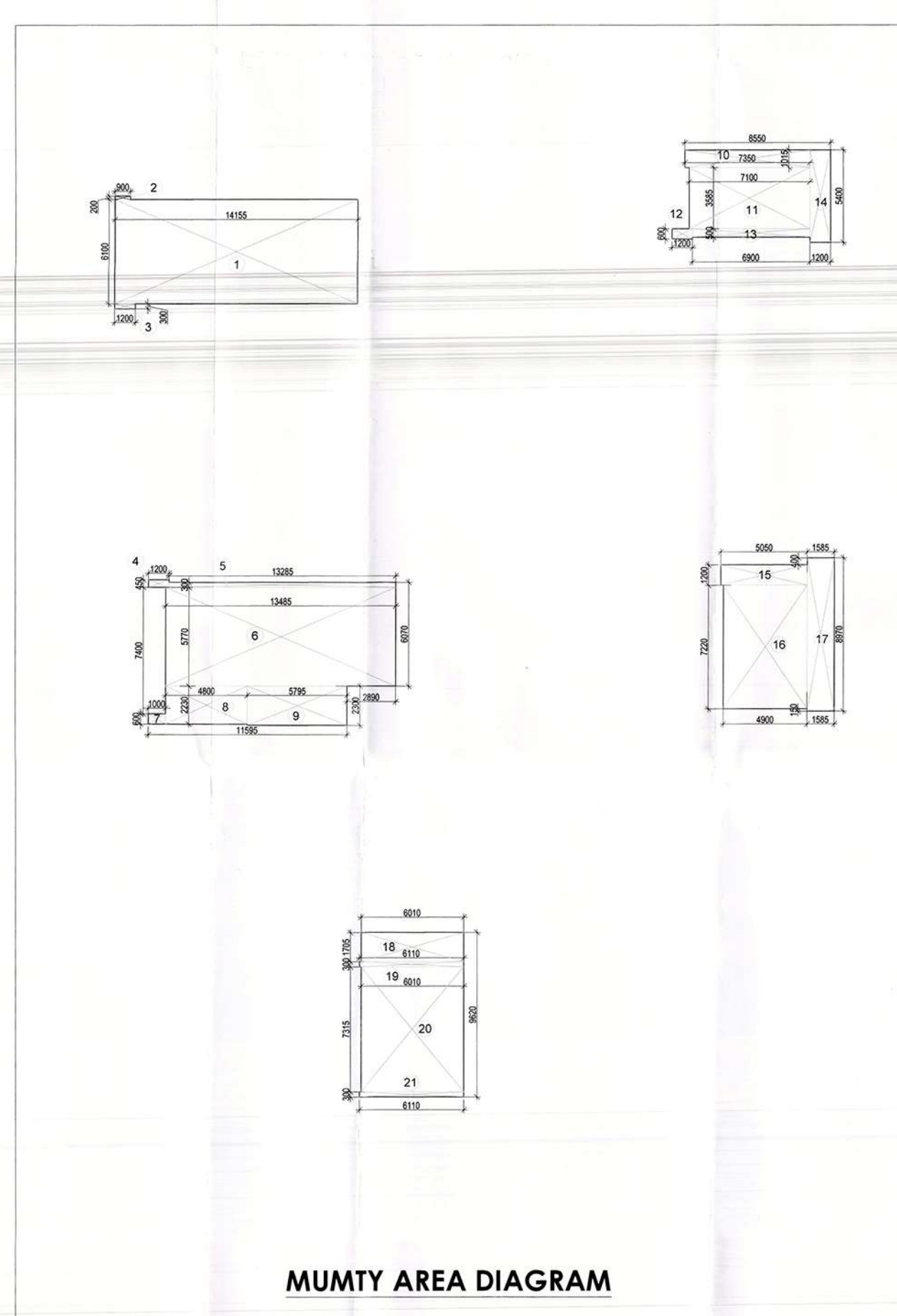
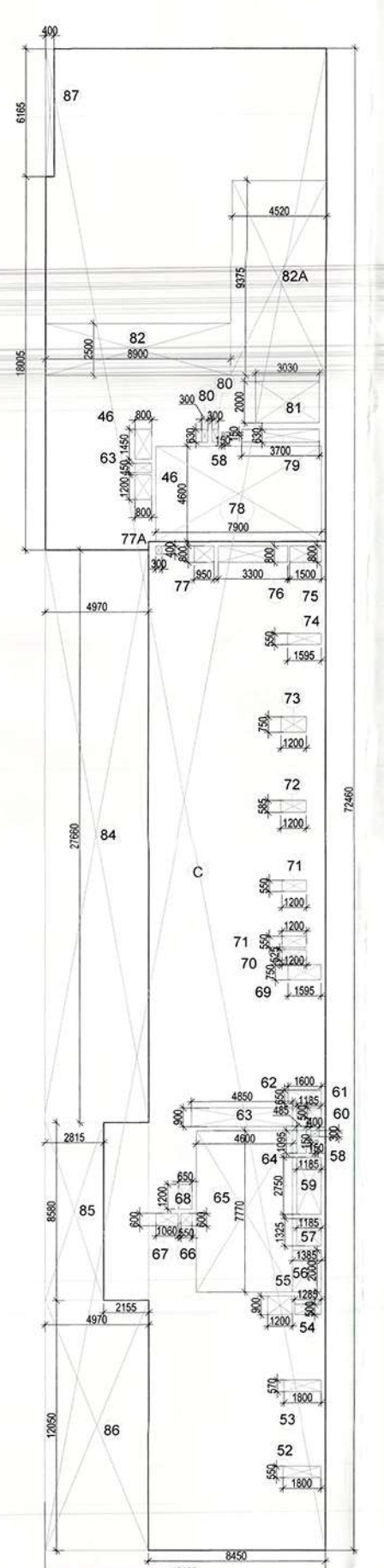


FOURTH FLOOR AREA DIAGRAM

4TH FLOOR AREA DETAIL				
RETAIL AREA DETAIL				
S. No.	COEFF.	WIDTH	LENGHT	AREA IN SQMT
B	1	59.455	20.720	1232.011
C	1	13.420	72.460	972.413
D	2	3.000	3.000	18.000
TOTAL ADDITIONS				= 2222.424
DEDUCTIONS				
26	1	16.900	0.315	157.424
27	1	1.390	0.250	0.338
28	1	41.510	8.955	413.232
29	1	2.500	1.150	2.875
30	1	0.750	0.850	0.638
31	1	2.150	1.250	2.688
32	1	4.250	0.950	4.038
33	1	1.250	0.950	1.188
34	1	29.905	1.250	36.131
35	1	0.500	0.600	0.300
36	1	4.600	7.315	33.649
37	1	0.810	1.245	1.008
38	1	0.600	0.300	0.180
39	1	0.910	2.270	2.066
40	1	0.800	2.120	1.696
41	1	0.600	1.100	0.660
42	1	3.345	3.420	11.440
43	1	2.450	2.500	6.125
44	1	0.800	0.600	0.480
45	1	0.400	0.600	0.240
46	1	0.800	0.300	0.240
47	1	29.005	1.700	49.309
48	1	1.570	0.600	0.942
49	1	0.465	0.450	0.209
50	1	1.400	0.550	0.770
51	1	1.250	0.550	0.688
52	1	1.600	0.550	0.880
53	1	1.600	0.570	0.912
54	1	1.285	0.500	0.643
55	1	1.200	0.300	0.360
56	1	1.385	2.000	2.770
57	1	1.185	1.325	1.570
58	1	0.150	0.150	0.023
59	1	1.185	2.750	3.259
60	1	0.400	0.300	0.120
61	1	1.185	0.500	0.593
62	1	1.600	0.650	1.040
63	1	4.850	0.900	4.365
64	1	0.485	1.085	0.525
65	1	4.600	7.770	35.742
66	1	0.550	0.600	0.330
67	1	1.080	0.600	0.648
68	1	0.650	1.200	0.780
69	1	1.585	0.750	1.189
70	1	1.200	0.525	0.630
71	1	1.200	0.550	0.660
72	1	1.200	0.585	0.702
73	1	1.200	0.750	0.900
74	1	1.585	0.550	0.871
75	1	1.500	0.800	1.200
76	1	3.300	0.800	2.640
77	1	0.900	0.800	0.720
77A	1	0.300	0.400	0.120
78	1	7.800	4.600	36.340
79	1	3.700	0.650	2.405
80	1	0.300	0.650	0.195
81	1	3.030	2.000	6.060
82	1	8.900	2.500	22.250
82A	1	4.520	0.315	42.375
84	1	4.970	27.660	137.470
85	1	2.815	8.580	24.153
86	1	4.970	12.050	59.889
87	1	0.400	8.185	3.274
TOTAL DEDUCTIONS				= 1144.560
NET 4TH FLOOR FAR = (1 - 2) RETAIL				= 1077.864

4TH FLOOR AREA DETAIL				
AUDI AREA DETAIL				
S. No.	COEFF.	WIDTH	LENGHT	AREA IN SQMT
A	1	20.680	104.410	2157.111
A1	1	2.510	10.960	82.034
TOTAL ADDITIONS				= 2239.144
DEDUCTIONS				
1	1	0.600	0.300	0.180
2	1	0.150	0.150	0.023
3	1	0.585	0.600	0.351
4	1	0.300	0.530	0.159
5	1	2.500	1.000	2.500
6	1	0.885	2.300	2.036
7	1	4.600	6.700	30.820
8	1	4.600	7.770	35.742
9	1	1.230	1.585	1.950
10	1	1.230	0.770	0.947
11	1	1.230	1.015	1.248
12	1	1.230	1.900	2.337
13	1	2.165	5.570	12.003
14	1	5.315	5.570	29.605
18	1	3.250	0.850	2.763
19	1	0.585	1.250	0.731
20	1	0.150	0.175	0.026
21	1	2.500	3.100	7.750
22	1	7.680	4.600	35.288
23	1	5.700	5.550	31.635
24	1	3.600	3.415	12.284
25	1	3.760	0.800	3.008
TOTAL DEDUCTIONS				= 213.674
NET 4TH FLOOR FAR AUDI = (1 - 2)				= 2065.470

4TH FLOOR TOTAL FAR		AREA IN SQMT
AUDI FAR		2065.470
RETAIL FAR		1077.864
4TH FLOOR TOTAL FAR		3083.334



MUMTY AREA DIAGRAM

MUMTY & MACHINE ROOM AREA DETAIL				
S. No.	COEFF.	WIDTH	LENGHT	AREA IN SQMT
1	1	14.155	6.100	86.346
2	1	0.900	0.200	0.180
3	1	1.200	0.300	0.360
4	1	1.200	0.450	0.540
5	1	13.285	0.300	3.986
6	1	13.485	0.770	10.382
7	1	1.200	0.600	0.720
8	1	4.800	2.230	10.704
9	1	5.795	2.300	13.329
10	1	7.350	1.315	9.660
11	1	7.100	3.585	25.454
12	1	1.200	0.600	0.720
13	1	6.900	0.500	3.450
14	1	1.200	5.400	6.480
15	1	0.550	1.200	0.660
16	1	4.900	7.220	35.378
17	1	1.585	8.970	14.217
18	1	6.010	1.705	10.247
19	1	6.110	0.300	1.833
20	1	6.010	7.315	43.983
21	1	6.110	0.300	1.833
TOTAL AREA				= 350.947

NOTES:
 • ALL LIFTS SHALL HAVE 100% POWER BACK UP
 • ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC
 • FIRE FIGHTING / SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS
 • BASEMENT AREA SHALL HAVE MECHANICALLY VENTILATED AS PER NBC CODE
 • ALL TOILETS ARE VENTILATED AS PER MARRAMA BUILDING CODE 2017
 • BUILDING AND AUTOMATIC SPRINKLER SYSTEMS ARE REQUIRED BY NBC
 • BUILDING SHALL BE DESIGN AS STRUCTURE AS PER RELEVANT I.S. CODES FOR EARTHQUAKE RESISTANCE
 • ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH COMMON FRANGES
 • SOLAR PANELS OF RELEVANT CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER MARRAMA BUILDING CODE
 • ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT PROVIDED BY IN FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE WALL
 • ALL HANDICAP COMPLIANT WITH NBC



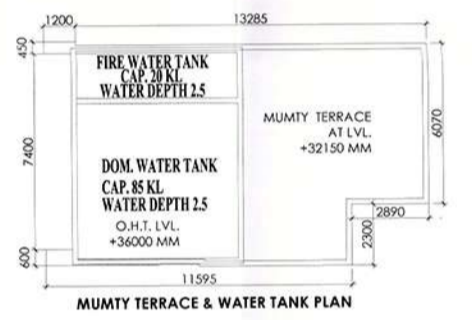
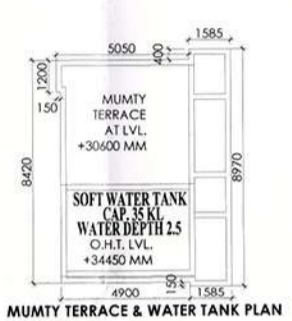
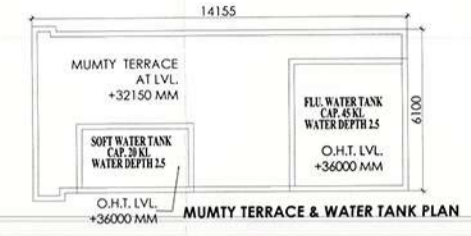
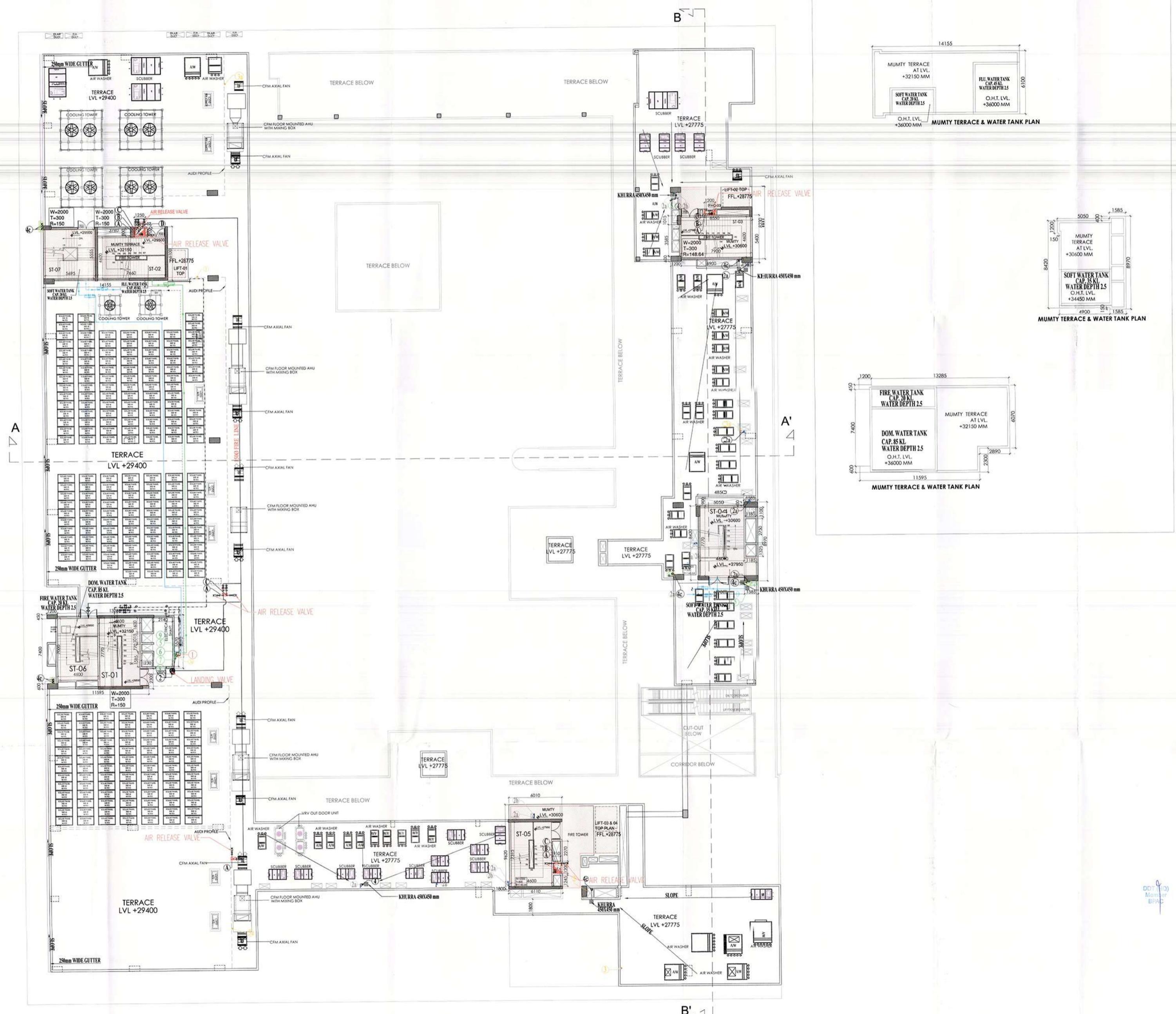
This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

[Signature]
 Member Secretary
 NBC

PRINCIPAL ARCHITECT:
ACPL
 Architecture Management Planning
 ACPL Design Ltd
 6/24 Bunk Estate-1
 New Delhi-110028
 www.acpl.in
 T: +91 11 26202020
 F: +91 11 26202020

PROJECT:
 REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.E. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR-70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

OWNER AUTH. SIGNATURE: *[Signature]*
 ARCHITECT'S SIGNATURE: *[Signature]*
 DRAWING TITLE: FOURTH FLOOR, MUMTY & MACHINE ROOM AREA DETAIL
 DRAWING NO: S-09A SCALE: 1:150



- NOTES:
- ALL LIFTS SHALL HAVE 100% POWER BACK UP.
 - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
 - FIRE FIGHTING / SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
 - BASEMENT AREA SHALL HAVE MECHANICALLY VENTILATED AIR PER RELEVANT NBC CODES.
 - ALL TOILETS ARE IDENTIFIED AS PER NATIONAL BUILDING CODE 2022.
 - BUILDING ARE AUTOMATICALLY OPERATED EXTERIOR LIGHTS REQUIRED BY NBC. BUILDING WILL BE DESIGNATED AS PER RELEVANT NBC CODES FOR EXTERIOR LIGHTING.
 - ALL HIGH RISE BUILDING ARE INTERCONNECTED THROUGH CORRIDOR / BRIDGES. SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP BY PER HANDECAP ZONING NORMS.
 - ONE EXTERNAL TWIN TONNAGE BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE IN 3 AIR FIRE RATED WITH PROVISION OF DRAINAGE ON INTERNAL SIDE OF THE SAME WALL.
 - ALL HANDICAP RAMP WITH RAILING.



PRINCIPAL ARCHITECT:

ACPL
 ACPL Design Ltd
 Architecture Management Planning
 150/9001/2008
 150/9001/2008
 150/9001/2008

PROJECT:

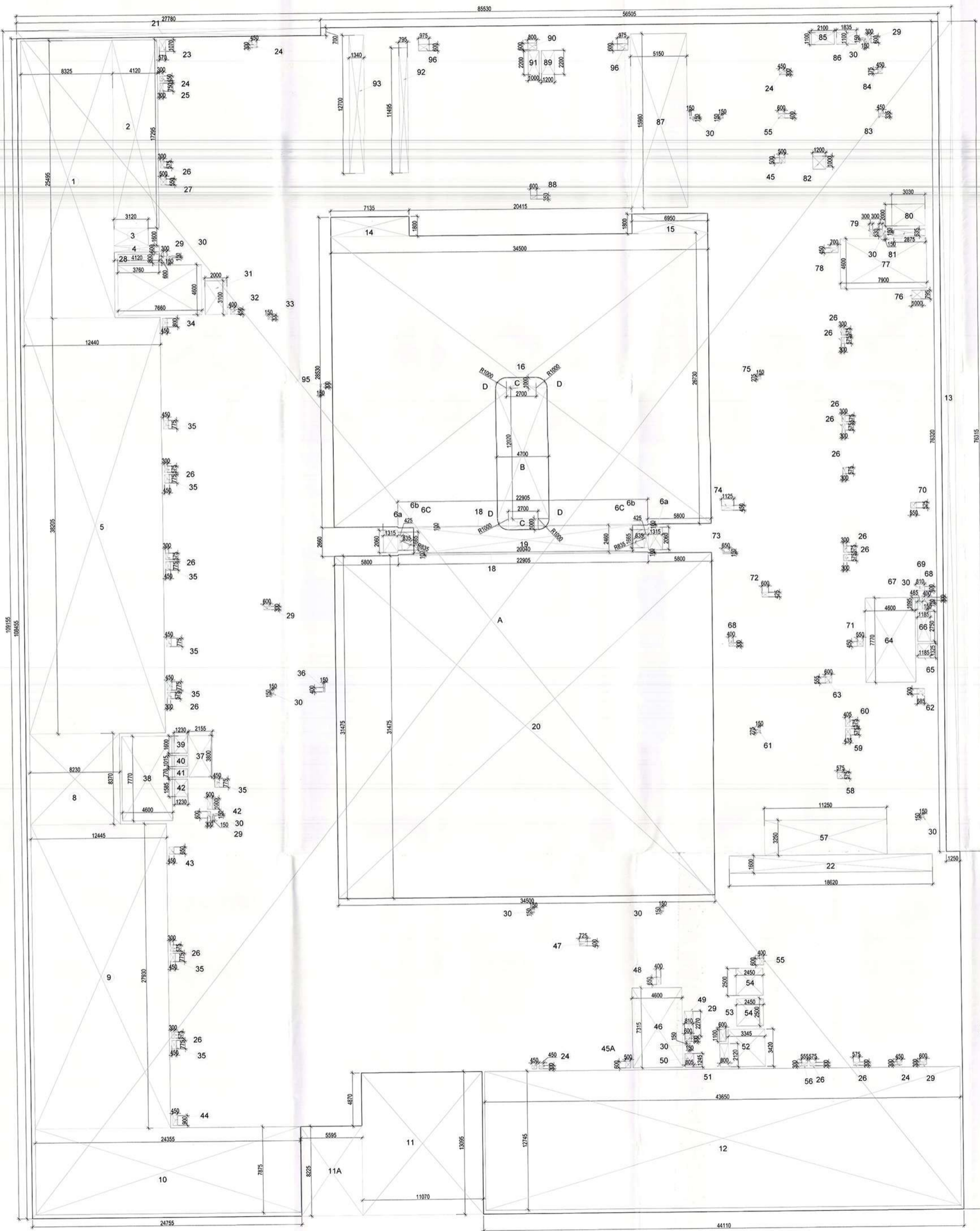
REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.E. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

For ELAN LIMITED
 AUTHORIZED SIGNATURE
 OWNER/AUTH. SIGNATURE
 ARCHITECT'S SIGNATURE

DRAWING TITLE
TERRACE PLAN

DRAWING NO. **S-10** SCALE - 1:150

DETAIL FOR AREA - (D) = $\pi r^2 \times \text{no. of cutout}$
 $= 3.14 \times 1 \times 1 \times 4 = 3.140 \times 4$



LOWER GROUND FLOOR AREA DIAGRAM

LOWER GROUND FLOOR AREA DETAIL						
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT	
A	1	85.530	109.155	1	9336.027	
B	1	4.700	12.020	1	56.494	
C	1	2.700	1.000	2	5.400	
D		0.785		4	3.140	
TOTAL ADDITIONS					= 9401.061	1
DEDUCTIONS						
1	1	8.325	25.495	1	212.246	
2	1	4.120	17.295	1	71.255	
3	1	3.120	1.600	1	4.992	
4	1	4.120	0.600	1	2.472	
5	1	12.440	38.205	1	475.270	
6a	1	1.315	2.060	2	5.418	
6b	1	0.425	1.665	2	1.415	
6c	3.14	0.835	0.835	0.5X2	2.189	
8	1	8.230	8.370	1	68.885	
9	1	12.445	27.930	1	347.589	
10	1	24.355	7.875	1	191.796	
11	1	11.070	13.095	1	144.962	
11A	1	5.595	8.225	1	46.019	
12	1	43.650	12.745	1	556.319	
13	1	1.250	76.320	1	95.400	
14	1	7.135	1.800	1	12.843	
15	1	6.950	1.800	1	12.510	
16	1	34.500	26.730	1	922.185	
18	1	22.905	0.100	2	4.581	
19	1	20.040	2.460	1	49.298	
20	1	34.500	31.475	1	1085.888	
21	1	27.780	0.700	1	19.446	
22	1	18.620	1.6	1	29.792	
23	1	0.570	1.070	1	0.610	
24	1	0.300	0.450	5	0.675	
25	1	0.300	0.750	1	0.225	
26	1	0.300	0.575	15	2.588	
27	1	0.500	0.550	1	0.275	
28	1	3.760	0.800	1	3.008	
29	1	0.300	0.600	6	1.080	
30	1	0.150	0.150	11	0.248	
31	1	2.000	3.100	1	6.200	
32	1	0.400	0.450	1	0.180	
33	1	0.150	0.300	1	0.045	
34	1	0.450	0.800	1	0.360	
35	1	0.450	0.775	8	2.790	
36	1	0.150	0.400	1	0.060	
37	1	2.155	3.800	1	8.189	
38	1	4.600	7.770	1	35.742	
39	1	1.230	1.600	1	1.968	
40	1	1.230	1.015	1	1.248	
41	1	1.230	0.770	1	0.947	
42	1	1.230	1.585	2	3.899	
43	1	0.450	0.650	1	0.293	
44	1	0.450	0.900	1	0.405	
45	1	0.500	0.500	1	0.250	
45A	1	0.500	0.600	1	0.300	
46	1	4.600	7.315	1	33.649	
47	1	0.725	0.400	1	0.290	
48	1	0.400	0.650	1	0.260	
49	1	0.810	2.270	1	1.839	
50	1	0.805	1.245	1	1.002	
51	1	0.800	2.120	1	1.696	
52	1	3.345	3.420	1	11.440	
53	1	0.600	1.100	1	0.660	
54	1	2.450	2.500	2	12.250	
55	1	0.400	0.600	2	0.480	
56	1	0.555	0.300	1	0.167	
57	1	11.250	3.25	1	36.563	
58	1	0.575	0.575	1	0.331	
59	1	0.435	0.575	1	0.250	
60	1	0.405	0.575	1	0.233	
61	1	0.150	0.275	1	0.041	
62	1	0.685	0.500	1	0.343	
63	1	0.600	0.555	1	0.333	
64	1	4.600	7.770	1	35.742	
65	1	1.185	1.325	1	1.570	
66	1	1.185	2.750	1	3.259	
67	1	0.485	1.095	1	0.531	
68	1	0.400	0.300	2	0.240	
69	1	0.810	0.400	1	0.324	
70	1	0.550	0.525	1	0.289	
71	1	0.550	0.450	1	0.248	
72	1	0.600	0.425	1	0.255	
73	1	0.650	0.150	1	0.098	
74	1	1.125	0.450	1	0.506	
75	1	0.150	0.275	1	0.041	
76	1	1.000	0.795	1	0.795	
77	1	7.900	4.600	1	36.340	
78	1	0.700	0.450	1	0.315	
79	1	0.300	0.630	2	0.378	
80	1	3.030	2.000	1	6.060	
81	1	2.875	0.635	1	1.826	
82	1	1.200	1.000	1	1.200	
83	1	0.450	0.335	1	0.151	
84	1	0.450	0.375	1	0.169	
85	1	2.100	1.100	1	2.310	
86	1	1.835	1.100	1	2.019	
87	1	5.150	15.980	1	82.297	
88	1	0.600	0.350	1	0.210	
89	1	1.200	2.200	1	2.640	
90	1	0.800	0.600	1	0.480	
91	1	1.000	2.200	1	2.200	
92	1	0.795	11.495	1	9.139	
93	1	1.340	12.700	1	17.018	
94	1	7.660	4.600	1	35.236	
95	1	0.150	0.300	1	0.045	
96	1	0.975	0.600	2	1.170	
TOTAL DEDUCTIONS					= 4781.277	
NET LOWER GROUND FLOOR FAR = (1 - 2) =					4619.784	

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

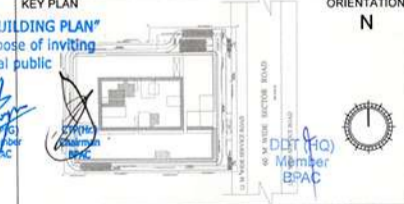
Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

Principal Architect: *[Signature]*
 Member, Chartered Architectural Institute of India (CAI)

- ALL LIFE SHALL HAVE DOWN POWER BACK UP
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC
- FIRE FIGHTING / SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
- BASEMENT AREA SHALL HAVE MECHANICALLY VENTILATED AS PER RELEVANT CODE.
- ALL TOILETS ARE VENTILATED AS PER RELEVANT BUILDING CODE 2013
- BUILDING SHALL HAVE AUTOMATIC SPRINKLER SYSTEM WHEREVER REQUIRED BY NBC.
- BUILDING SHALL BE SEISMICALLY PROTECTED AS PER RELEVANT CODES FOR EARTHQUAKE RESISTANCE.
- ALL HIGH RISE BUILDING SHALL INTERCONNECTED THROUGH CORRIDOR / STAGES.
- SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER WAREHOUSING NORMS.
- ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE 1.8 M. HIGH BARRI WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
- ALL HANDICAP BARRI WITH RAILING.

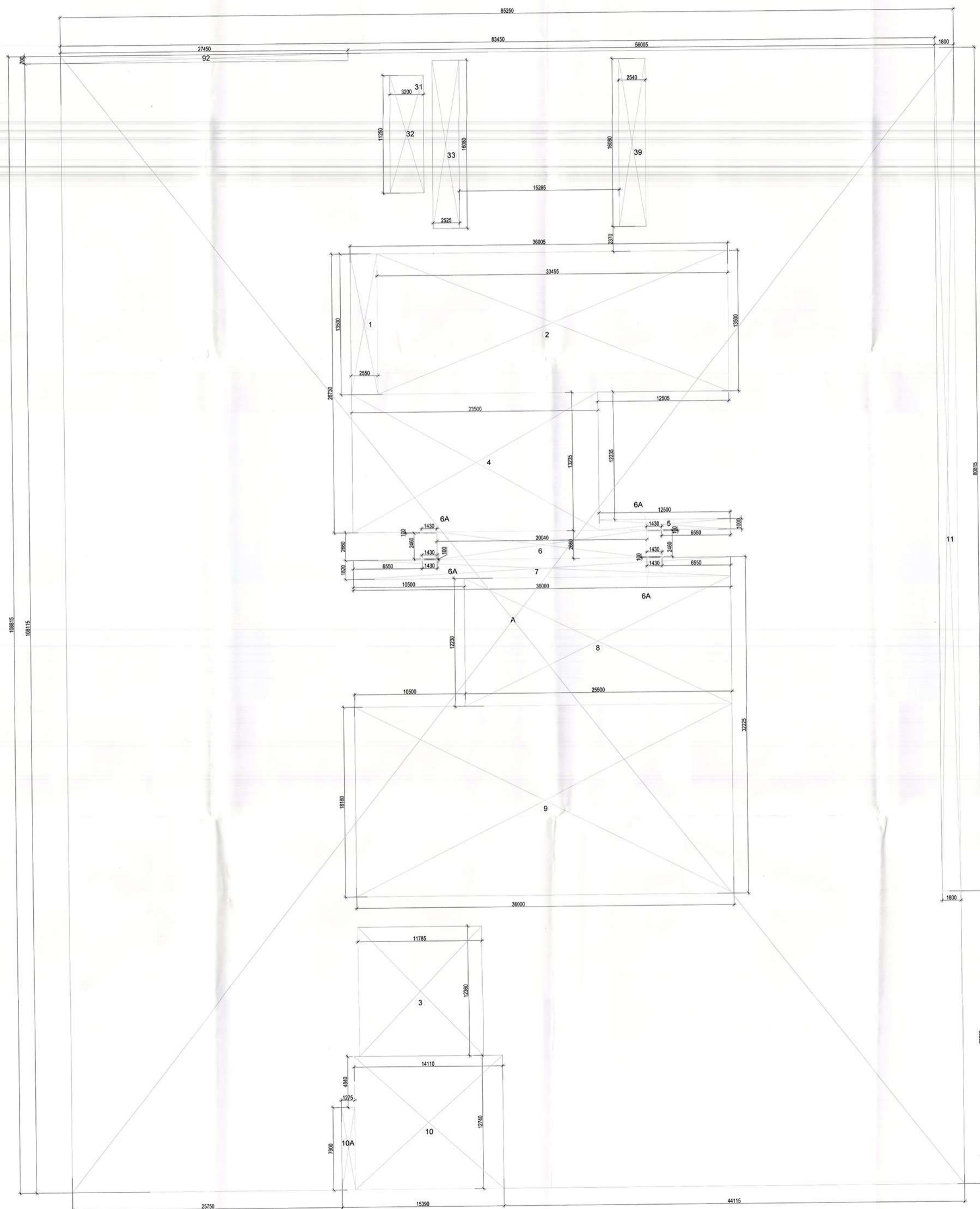


ACPL Design Ltd
 Architecture Management Planning
 ISO 9001:2008
 100, 100th Street, New York, NY 10001, USA
 Tel: +1 212 260 2000
 Fax: +1 212 260 2000
 Email: info@acpl.com

PROJECT: REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA i.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

For ELAN LIMITED
 Authorised Signatory
 KULDEEP SANGAR
 PROJECT ARCHITECT
 CD/272174

OWNER/AUTH. SIGNATURE ARCHITECT'S SIGNATURE
 DRAWING TITLE: LOWER GROUND FLOOR AREA DETAIL
 DRAWING NO.: S-04A SCALE: 1:150



GROUND FLOOR AREA DIAGRAM

GROUND FLOOR AREA DETAIL						
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT	
A	1	85.250	108.815	1	9276.479	
TOTAL ADDITIONS					= 9276.479	1
DEDUCTIONS						
1	1	2.550	13.500	1	34.425	
2	1	33.455	13.500	1	451.643	
3	1	11.785	12.360	1	145.663	
4	1	23.500	13.235	1	311.023	
5	1	12.500	1.000	1	12.500	
6	1	20.040	2.660	1	53.306	
6A	1	1.430	0.100	4	0.572	
7	1	36.000	1.820	1	65.520	
8	1	25.500	12.230	1	311.865	
9	1	36.000	18.180	1	654.480	
10	1	14.110	12.740	1	179.761	
10A	1	1.275	7.900	1	10.073	
11	1	1.800	80.815	1	145.467	
28	1	0.300	0.575	1	0.173	
32	1	3.200	11.250	1	36.000	
33	1	2.525	16.080	1	40.602	
39	1	2.540	16.080	1	40.843	
92	1	27.450	0.700	1	19.215	
TOTAL DEDUCTIONS					= 2513.130	2
NET GROUND FLOOR FAR = (1 - 2)					= 6763.349	

- NOTES**
- ALL LIFTS SHALL HAVE SOON POWER BACK UP.
 - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NEC.
 - FIRE ALARMS/SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
 - ALL TOILETS ARE VENTILATED AS PER HARYANA BUILDING CODE DIST.
 - BUILDING HAS AUTOMATIC SPRINKLER SYSTEM WHEREVER REQUIRED BY NBC.
 - BUILDING WILL BE DESIGNED (STRUCTURES) AS PER RELEVANT I.S. CODES FOR EARTHQUAKE RESISTANCE.
 - ALL HIGH RISE BUILDING ARE INTERCONNECTED THROUGH COMMON / BRIDGES.
 - SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER HARYANA ZONING NORMS.
 - ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL BUILDING SHOULD BE IN FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
 - ALL HANDICAP STAIRS WITH RAILING.

KEY PLAN ORIENTATION N

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.



PRINCIPAL ARCHITECT:

ACPL ISO 9001:2008
 ACPL Design Ltd
 101, Sector 17, Gurgaon, Haryana
 Phone: +91 122 4444444
 Fax: +91 122 4444444
 Email: info@acpl.com

PROJECT:

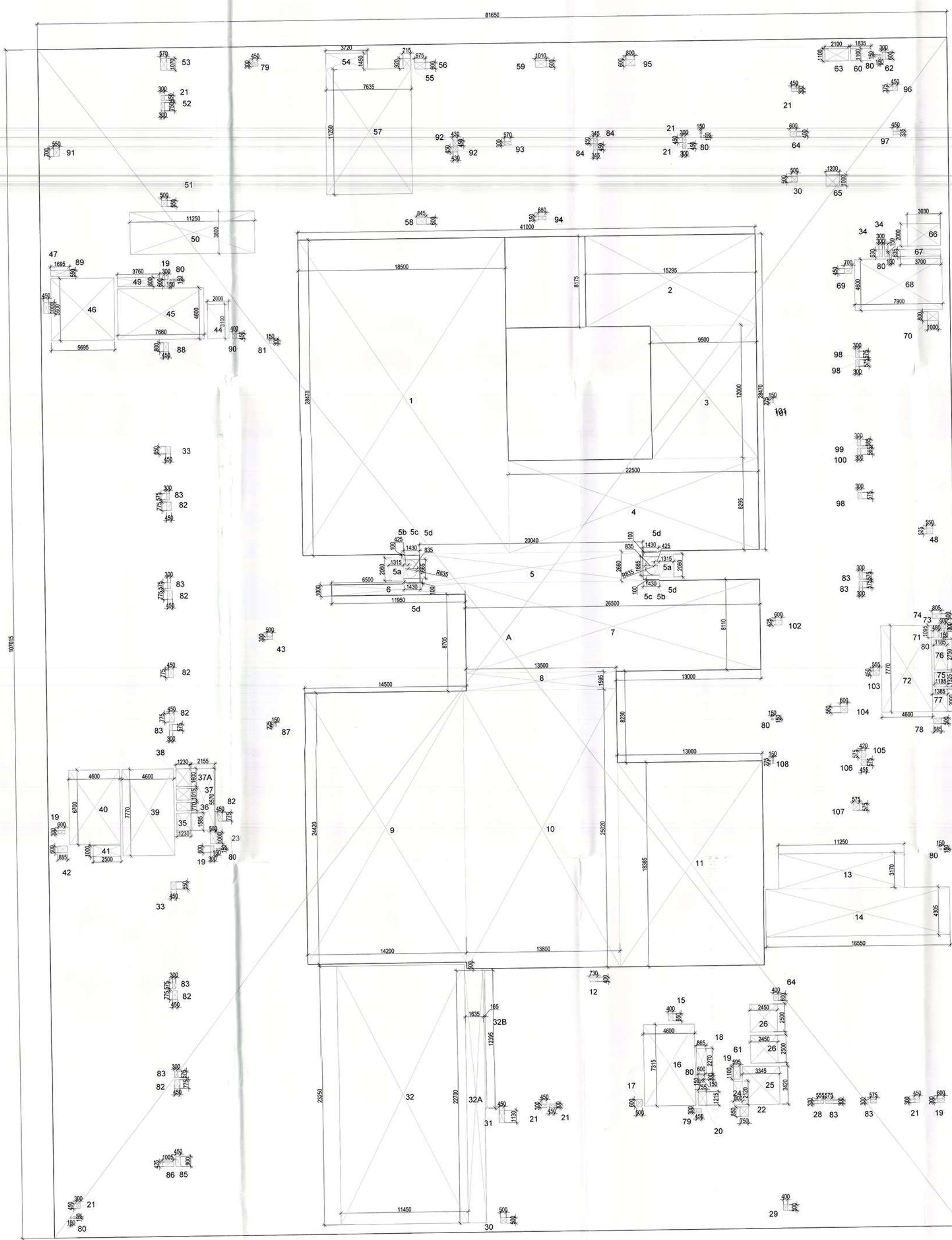
REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA i.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

For ELAN LIMITED
 AUTHORIZED SIGNATORY
 OWNER/AUTH SIGNATURE
 ARCHITECT'S SIGNATURE

DRAWING TITLE

GROUND FLOOR AREA DETAIL

DRAWING NO S-05A SCALE: 1:150



FIRST FLOOR AREA DIAGRAM

FIRST FLOOR AREA DETAIL					
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQM
A	1	81.650	107.015	1	8737.775
TOTAL ADDITIONS					
DEDUCTIONS					
1	1	18.500	28.470	1	526.695
2	1	15.295	8.175	1	125.037
3	1	9.500	12.000	1	114.000
4	1	22.500	8.295	1	186.638
5	1	20.040	2.660	1	53.306
5a	1	1.315	2.060	2	5.418
5b	1	0.425	1.665	2	1.415
5c	3.14	0.835	0.835	0.5 x 2	2.189
5d	1	1.430	0.100	4	0.572
6	1	11.950	1.000	1	11.950
7	1	26.500	8.110	1	214.915
8	1	13.500	1.595	1	21.533
9	1	14.200	24.420	1	346.764
10	1	13.900	25.020	1	345.276
11	1	12.950	18.355	1	238.086
12	1	0.730	0.400	1	0.292
13	1	11.250	3.170	1	35.663
14	1	16.550	4.305	1	71.248
15	1	0.400	0.650	1	0.260
16	1	4.600	7.315	1	33.649
17	1	0.500	0.600	1	0.300
18	1	0.865	2.270	1	1.964
19	1	0.600	0.300	5	0.900
20	1	0.755	1.215	1	0.917
21	1	0.450	0.300	8	1.080
22	1	0.750	0.650	1	0.488
23	1	0.500	1.000	1	0.500
24	1	0.800	2.120	1	1.696
25	1	3.345	3.420	1	11.440
26	1	2.450	2.500	2	12.250
28	1	0.555	0.300	1	0.167
29	1	0.400	0.500	1	0.200
30	1	0.500	0.500	2	0.500
31	1	0.450	1.130	1	0.509
32	1	11.450	23.250	1	266.213
32A	1	1.635	22.700	1	37.115
32B	1	0.165	12.355	1	2.045
33	1	0.450	0.650	2	0.585
34	1	0.300	0.630	2	0.378
35	1	1.230	1.585	1	1.950
36	1	1.230	0.770	1	0.947
37	1	1.230	1.015	1	1.248
37A	1	2.155	5.570	1	12.003
38	1	1.230	1.600	1	1.968
39	1	4.600	7.770	1	35.742
40	1	4.600	6.700	1	30.820
41	1	2.500	1.000	1	2.500
42	1	0.865	0.600	1	0.519
43	1	0.500	0.300	1	0.150
44	1	2.000	3.100	1	6.200
45	1	7.660	4.600	1	35.236
46	1	5.695	5.600	1	31.892
47	1	0.450	1.000	1	0.450
48	1	0.550	0.525	1	0.289
49	1	3.760	0.800	1	3.008
50	1	11.250	3.800	1	42.750
51	1	0.500	0.550	1	0.275
52	1	0.300	0.750	1	0.225
53	1	0.570	1.070	1	0.610
54	1	3.720	1.450	1	5.394
55	1	0.715	0.920	1	0.658
56	1	0.975	0.600	1	0.585
57	1	7.635	11.250	1	85.894
58	1	0.845	0.600	1	0.507
59	1	1.010	0.600	1	0.606
60	1	1.835	1.100	1	2.019
61	1	0.595	1.100	1	0.655
62	1	0.300	0.600	1	0.180
63	1	2.100	1.100	1	2.310
64	1	0.600	0.400	2	0.480
65	1	1.200	1.000	1	1.200
66	1	3.030	2.000	1	6.060
67	1	3.700	0.635	1	2.350
68	1	7.900	4.600	1	36.340
69	1	0.675	0.450	1	0.304
70	1	1.000	0.800	1	0.800
71	1	0.480	1.095	1	0.526
72	1	4.600	7.770	1	35.742
73	1	0.300	0.400	1	0.120
74	1	0.805	0.400	1	0.322
75	1	1.185	1.325	1	1.570
76	1	1.185	2.750	1	3.259
77	1	1.385	2.000	1	2.770
78	1	0.685	0.500	1	0.343
79	1	0.300	0.450	2	0.270
80	1	0.150	0.150	10	0.225
81	1	0.150	0.300	1	0.045
82	1	0.450	0.775	7	2.441
83	1	0.300	0.575	9	1.553
84	1	0.345	0.450	2	0.311
85	1	0.450	0.900	1	0.405
86	1	1.005	0.425	1	0.427
87	1	0.150	0.225	1	0.034
88	1	0.450	0.800	1	0.360
89	1	1.695	0.550	1	0.932
90	1	0.450	0.400	1	0.180
91	1	0.550	0.700	1	0.385
92	1	0.430	0.450	2	0.387
93	1	0.570	0.300	1	0.171
94	1	0.680	0.350	1	0.238
95	1	0.800	0.600	1	0.480
96	1	0.450	0.375	1	0.169
97	1	0.450	0.335	1	0.151
98	1	0.300	0.570	3	0.513
99	1	0.300	0.585	1	0.176
100	1	0.300	0.565	1	0.170
101	1	0.150	0.275	1	0.041
102	1	0.600	0.425	1	0.255
103	1	0.555	0.450	1	0.250
104	1	0.600	0.560	1	0.336
105	1	0.420	0.575	1	0.242
106	1	0.455	0.575	1	0.262
107	1	0.575	0.575	1	0.331
108	1	0.150	0.275	1	0.041
TOTAL DEDUCTIONS					
					= 3085.861
NET FIRST FLOOR FAR = (1 - 2)					= 5651.913

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

[Signature]
Member Secretary

NOTES:

- ALL LIFTS SHALL HAVE DOOR POWER BACKUP.
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
- FIRE FIGHTING SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
- RELEVANT AREA SHALL COMPLY WITH ALL RELEVANT NBC PROVISIONS.
- ALL SOLIDS ARE VENTILATED AS PER MARRANA BUILDING CODE 2012.
- BUILDING HAS AUTOMATIC SPRINKLER SYSTEM AS REQUIRED BY NBC.
- BUILDING WILL BE DESIGNATED (STRUCTURES) AS PER RELEVANT U.S. CODES FOR EARTHQUAKE RESISTANCE.
- ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH CORRIDOR / BRIDGES.
- ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHALL BE 18" MIN. THICK BATTED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
- ALL HANDICAP STAIRS WITH RAILING.

ORIENTATION N

PRINCIPAL ARCHITECT:

ACPL Architecture Management Planning

ACPL Design Ltd

ISO 9001:2008

PROJECT:

REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA i.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANSAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

For ELAN LIMITED

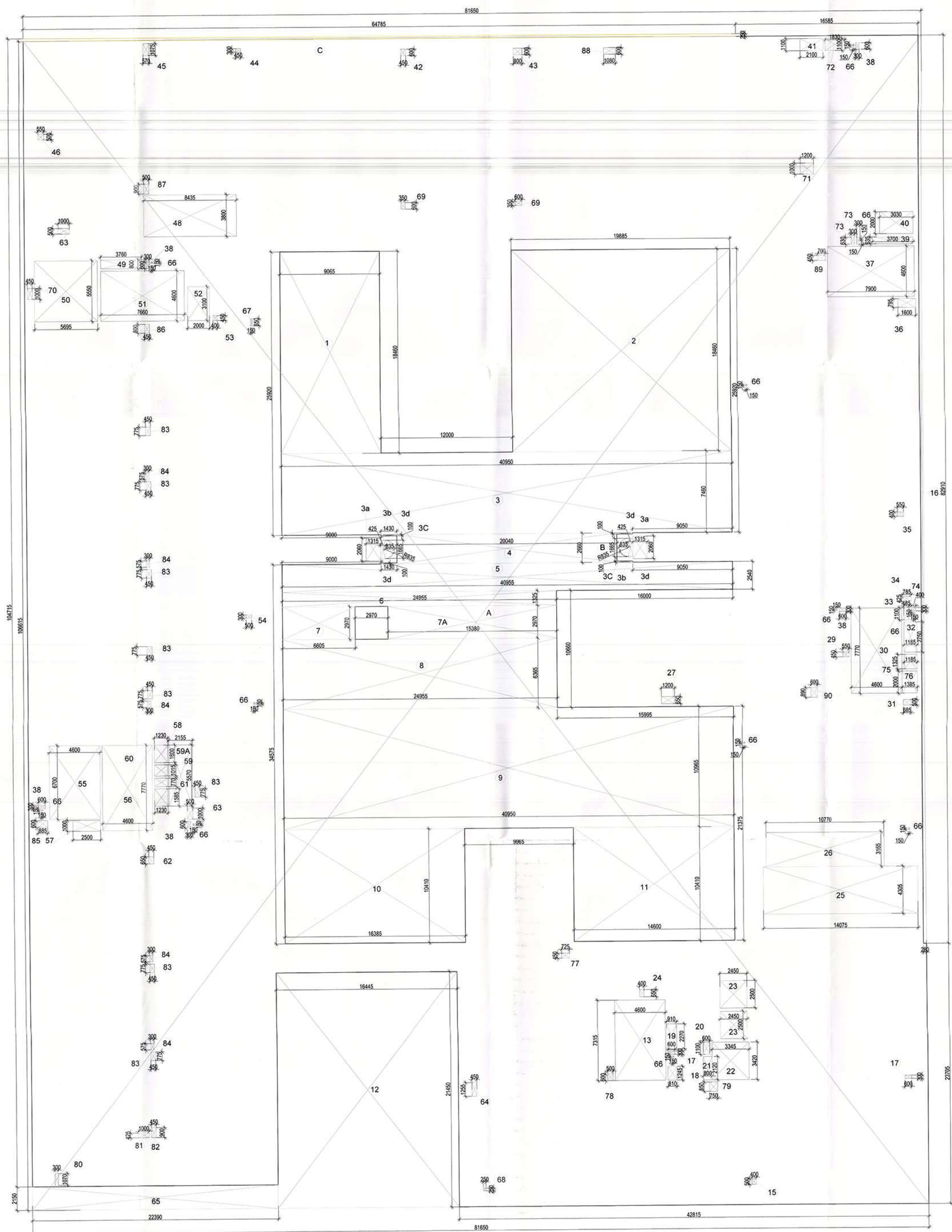
Authorized Signatory

OWNER/AUTH. SIGNATURE ARCHITECT'S SIGNATURE

DRAWING TITLE

FIRST FLOOR AREA DETAIL

DRAWING NO. S-06A SCALE - 1:150



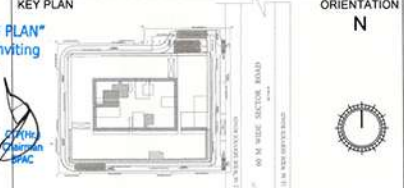
SECOND FLOOR AREA DIAGRAM

2ND FLOOR AREA DETAIL					
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT
A	1	81.650	106.615	1	8705.115
C	1	64.785	0.250	1	16.196
TOTAL ADDITIONS					= 8721.311
DEDUCTIONS					
1	1	9.065	18.460	1	167.340
2	1	19.885	18.460	1	367.077
3	1	40.950	7.460	1	305.487
3a	1	1.315	2.060	2	5.418
3b	1	0.425	1.665	2	1.415
3c	3.14	0.835	0.835	0.5 x2	2.189
3d	1	1.430	0.100	4	0.572
4	1	20.040	2.660	1	53.306
5	1	40.955	2.540	1	104.026
6	1	24.955	1.325	1	33.065
7	1	6.605	2.970	1	19.617
7A	1	15.380	2.970	1	45.679
8	1	24.955	6.365	1	158.839
9	1	40.950	10.965	1	449.017
10	1	16.385	10.410	1	170.568
11	1	14.600	10.410	1	151.986
12	1	16.445	21.450	1	352.745
13	1	4.600	7.315	1	33.649
15	1	0.400	0.500	1	0.200
16	1	0.280	82.910	1	23.215
17	1	0.600	0.300	2	0.360
18	1	0.810	1.245	1	1.008
19	1	0.910	2.270	1	2.066
20	1	0.600	1.100	1	0.660
21	1	0.800	2.120	1	1.696
22	1	3.345	3.420	1	11.440
23	1	2.450	2.500	2	12.250
24	1	0.400	0.650	1	0.260
25	1	14.075	4.305	1	60.593
26	1	10.770	3.165	1	34.087
27	1	1.200	0.650	1	0.780
29	1	0.550	0.450	2	0.495
30	1	4.600	7.770	1	35.742
31	1	0.685	0.500	1	0.343
32	1	1.185	2.750	1	3.259
33	1	0.485	1.100	1	0.534
34	1	0.785	0.425	1	0.334
35	1	0.550	0.400	1	0.220
36	1	1.600	0.795	1	1.272
37	1	7.900	4.600	1	36.340
38	1	0.300	0.600	5	0.900
39	1	3.700	0.635	1	2.350
40	1	3.030	2.000	1	6.060
41	1	2.100	1.100	1	2.310
42	1	0.450	0.600	1	0.270
43	1	0.800	0.600	1	0.480
44	1	0.450	0.300	1	0.135
45	1	0.570	1.075	1	0.613
46	1	0.550	0.500	1	0.275
48	1	8.435	3.800	1	32.053
49	1	3.760	0.800	1	3.008
50	1	5.695	5.550	1	31.607
51	1	7.660	4.600	1	35.236
52	1	2.000	3.100	1	6.200
53	1	0.400	0.450	1	0.180
54	1	0.500	0.300	1	0.150
55	1	4.600	6.700	1	30.820
56	1	4.600	7.770	1	35.742
57	1	2.500	1.000	1	2.500
58	1	1.230	1.600	1	1.968
59	1	1.230	1.015	1	1.248
59A	1	2.155	5.570	1	12.003
60	1	1.230	0.770	1	0.947
61	1	1.230	1.585	1	1.950
62	1	0.450	0.650	1	0.293
63	1	0.500	1.000	2	1.000
64	1	0.450	1.255	1	0.565
65	1	22.390	2.150	1	48.139
66	1	0.150	0.150	12	0.270
67	1	0.150	0.650	1	0.098
68	1	0.250	0.250	1	0.063
69	1	0.350	0.600	2	0.420
70	1	0.450	1.000	1	0.450
71	1	1.200	1.000	1	1.200
72	1	1.830	1.100	1	2.013
73	1	0.300	0.630	2	0.378
74	1	0.400	0.300	1	0.120
75	1	1.185	1.325	1	1.570
76	1	1.385	2.000	1	2.770
77	1	0.725	0.450	1	0.326
78	1	0.500	0.600	1	0.300
79	1	0.750	0.850	1	0.638
80	1	0.300	1.070	1	0.321
81	1	1.000	0.425	1	0.425
82	1	0.450	0.900	1	0.405
83	1	0.450	0.775	8	2.790
84	1	0.300	0.575	5	0.863
85	1	0.885	0.600	1	0.531
86	1	0.450	0.800	1	0.360
87	1	0.500	0.900	1	0.450
88	1	1.080	0.600	1	0.648
89	1	0.700	0.450	1	0.315
90	1	0.600	0.890	1	0.534
TOTAL DEDUCTIONS					= 2926.404
NET 2ND FLOOR FAR = (1 - 2)					= 5794.907

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

Handwritten signatures and stamps.

- NOTES:**
- ALL LIFTS SHALL HAVE 100% POWER BACK-UP.
 - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF IEC.
 - FIRE EXTINGUISHING EQUIPMENT PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
 - ALL SOLID TO BE VENTILATED AS PER HARYANA BUILDING CODE 2017.
 - BUILDING HAS AIRCRAFT STRIKES RESISTANCE SYSTEM AS PER RELEVANT NBC.
 - BUILDING SHALL BE DESIGNED (STRUCTURES) AS PER RELEVANT I.S. CODES FOR SEISMIC RESISTANCE.
 - ALL HIGH RISE BUILDING ARE INTERCONNECTED THROUGH COMMON FRIGIDES.
 - SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER HARYANA BUILDING CODE.
 - ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN BUILDING SHALL BE PROVIDED WITH FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
 - ALL WINDOWS OF BALCONY WITH RAILING.



PRINCIPAL ARCHITECT:

ACPL Architecture Management Planning

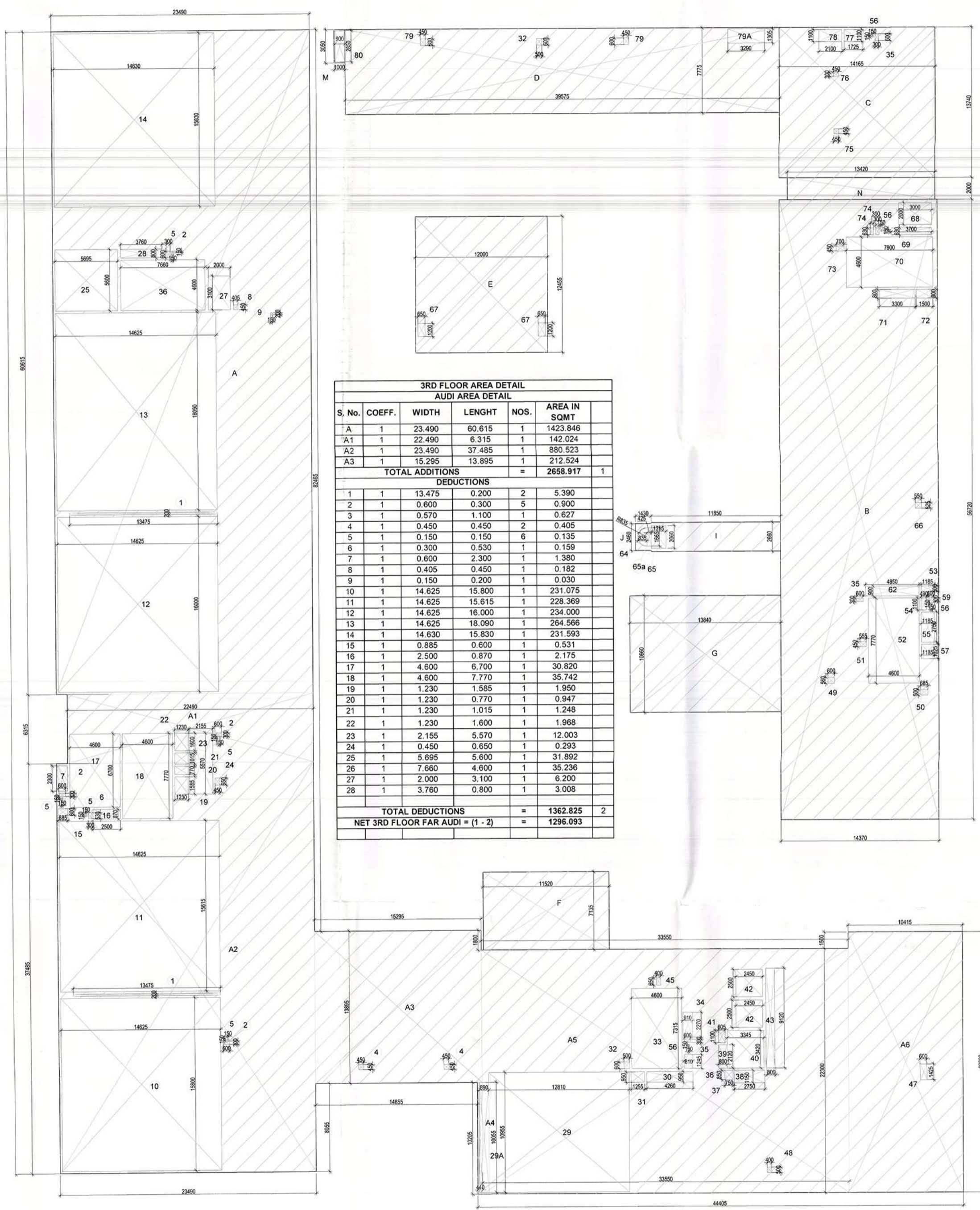
ACPL Design Ltd. ISO 9001:2008

PROJECT:

REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA (i.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR - 70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

OWNER/AUTHOR SIGNATURE: *[Signature]* ARCHITECT'S SIGNATURE: *[Signature]*

DRAWING TITLE: **SECOND FLOOR AREA DETAIL**



THIRD FLOOR AREA DIAGRAM

REFUGE AREA CALCULATION
 TOTAL GROSS AREA OF FLOOR = 2658.787 SQM.
 REFUGE AREA REQUIRED 10 % OF GROSS AREA = 265.878 SQM.
 TOTAL NO. OF SEATS=1016
 OCCUPANCY=1016X1.2=1219.2 SAY 1220 PERSON
 WHEEL CHAIR SPACE FOR EVERY 200 OCCUPANTS =0.9 SQ. MT.
 FOR 1220 OCCUPANCY REFUGE AREA FOR WHEEL CHAIR SPACE=7 X 0.9=6.3 SQ.MT.
 TOTAL REFUGE AREA REQUIRED = 265.8 +6.3=272.1 SQ.MT.
 REFUGE AREA PROVIDED = 271.978 SQM.

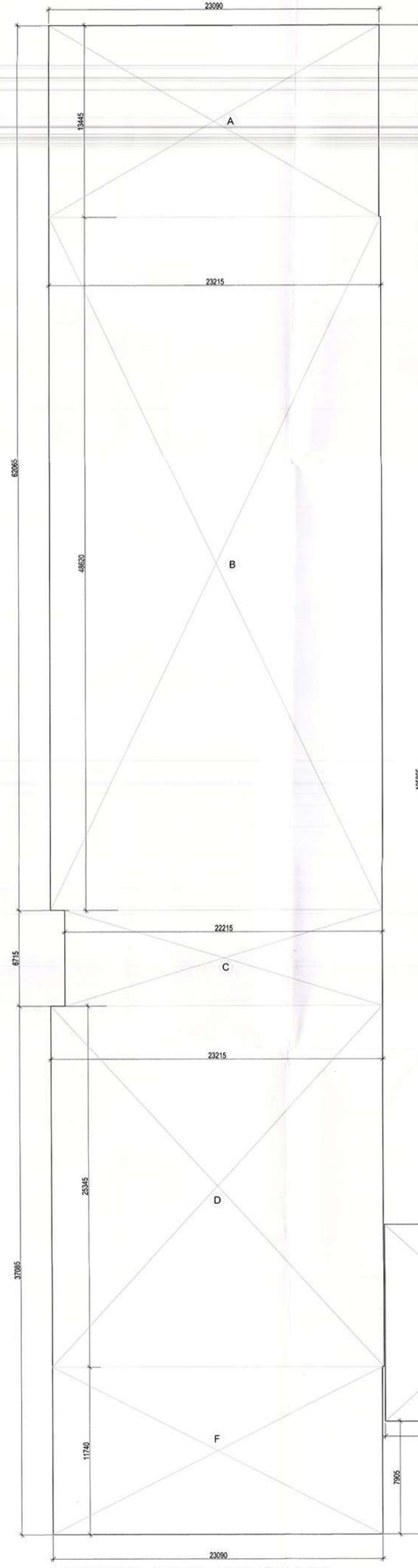
3RD FLOOR TOTAL FAR		AREA IN SQMT
AUDI FAR		1296.093
RETAIL FAR		2419.500
3RD FLOOR TOTAL FAR		3715.593

3RD FLOOR AREA DETAIL					
AUDI AREA DETAIL					
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT
A	1	23.490	60.615	1	1423.846
A.1	1	22.490	6.315	1	142.024
A.2	1	23.490	37.485	1	880.523
A.3	1	15.295	13.895	1	212.524
TOTAL ADDITIONS					= 2658.917
DEDUCTIONS					
1	1	13.475	0.200	2	5.390
2	1	0.600	0.300	5	0.900
3	1	0.570	1.100	1	0.627
4	1	0.450	0.450	2	0.405
5	1	0.150	0.150	6	0.135
6	1	0.300	0.530	1	0.159
7	1	0.600	2.300	1	1.380
8	1	0.405	0.450	1	0.182
9	1	0.150	0.200	1	0.030
10	1	14.625	15.800	1	231.075
11	1	14.625	15.615	1	228.369
12	1	14.625	16.000	1	234.000
13	1	14.625	18.090	1	264.566
14	1	14.630	15.830	1	231.593
15	1	0.885	0.600	1	0.531
16	1	2.500	0.870	1	2.175
17	1	4.600	6.700	1	30.820
18	1	4.600	7.770	1	35.742
19	1	1.230	1.585	1	1.950
20	1	1.230	0.770	1	0.947
21	1	1.230	1.015	1	1.248
22	1	1.230	1.600	1	1.968
23	1	2.155	5.570	1	12.003
24	1	0.450	0.650	1	0.293
25	1	5.695	5.600	1	31.892
26	1	7.660	4.600	1	35.236
27	1	2.000	3.100	1	6.200
28	1	3.760	0.800	1	3.008
TOTAL DEDUCTIONS					= 1362.825
NET 3RD FLOOR FAR AUDI = (1 - 2)					= 1296.093

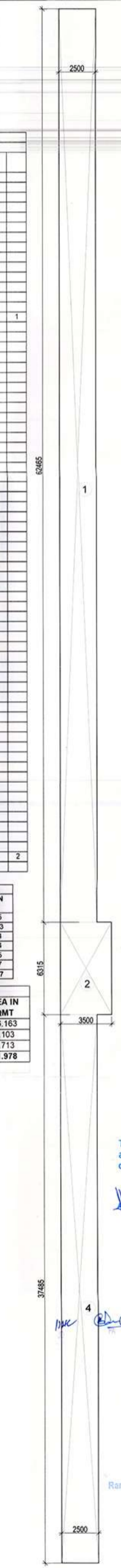
RETAIL AREA DETAIL					
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT
A.1	1	0.400	10.200	1	4.080
A.5	1	33.550	22.300	1	748.165
A.6	1	10.415	23.800	1	247.877
B	1	14.370	58.720	1	835.086
C	1	14.165	13.740	1	194.627
D	1	39.575	7.775	1	307.696
E	1	12.000	12.450	1	149.400
F	1	11.520	7.135	1	82.195
G	1	13.840	10.660	1	147.534
I	1	11.550	2.560	1	29.561
J	1	1.430	2.460	1	3.518
M	1	1.000	3.050	1	3.050
N	1	13.420	2.000	1	26.840
TOTAL ADDITIONS					= 2762.040
DEDUCTIONS					
29	1	12.810	10.955	1	140.334
29A	1	0.890	10.255	1	9.149
30	1	4.260	0.950	1	4.047
31	1	1.555	0.950	1	1.476
32	1	0.500	0.600	2	0.600
33	1	4.600	7.315	1	33.648
34	1	0.910	2.270	1	2.066
35	1	0.600	0.300	3	0.540
36	1	0.810	1.245	1	1.008
37	1	0.750	0.950	1	0.708
38	1	2.750	1.150	1	3.163
39	1	0.600	2.120	1	1.272
40	1	3.345	3.420	1	11.440
41	1	0.605	1.100	1	0.666
42	1	2.450	2.300	2	12.250
43	1	0.600	1.150	1	0.690
45	1	0.400	0.650	1	0.260
47	1	0.600	1.425	1	0.855
48	1	0.600	0.350	1	0.210
49	1	0.600	0.560	1	0.336
50	1	0.685	0.300	1	0.205
51	1	0.555	0.450	1	0.250
52	1	4.600	7.770	1	35.742
53	1	1.185	0.500	1	0.593
54	1	0.600	1.100	1	0.660
55	1	1.185	2.750	1	3.259
56	1	0.150	0.150	4	0.090
57	1	1.185	1.325	1	1.570
59	1	0.400	0.300	1	0.120
60	1	0.600	0.560	1	0.336
61	1	0.600	0.560	1	0.336
62	1	0.600	0.560	1	0.336
63	1	0.600	0.560	1	0.336
64	3.14	0.335	0.335	0.5	0.195
65	1	1.315	2.060	1	2.709
65A	1	0.425	1.665	1	0.708
66	1	0.500	0.525	1	0.263
67	1	0.650	1.200	2	1.560
68	1	3.000	2.000	1	6.000
69	1	3.700	0.550	1	2.035
70	1	7.900	4.600	1	36.340
71	1	3.300	0.800	1	2.640
72	1	1.500	0.300	1	0.450
73	1	0.700	0.450	1	0.315
74	1	0.300	0.630	2	0.378
75	1	0.450	0.450	1	0.203
76	1	0.450	0.300	1	0.135
77	1	1.725	1.100	1	1.898
78	1	2.100	1.100	1	2.310
79	1	0.450	0.600	2	0.540
79A	1	3.390	1.305	1	4.425
80	1	0.600	2.850	1	1.695
TOTAL DEDUCTIONS					= 342.539
NET 3RD FLOOR FAR RETAIL = (1 - 2)					= 2419.500

GROSS AREA DETAIL					
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT
A	1	23.090	13.445	1	310.445
B	1	23.215	48.820	1	1138.713
C	1	23.215	6.715	1	155.874
D	1	23.215	25.545	1	593.384
E	1	15.295	13.785	1	210.995
F	1	23.090	11.740	1	271.077
TOTAL GROSS AREA					= 2658.787

REFUGE AREA DETAIL					
S. No.	COEFF.	WIDTH	LENGHT	NOS.	AREA IN SQMT
1	1	2.500	62.465	1	156.163
2	1	3.500	6.315	1	22.103
4	1	2.500	37.485	1	93.713
TOTAL REFUGE AREA					= 271.978



GROSS AREA DIAGRAM



REFUGE AREA DIAGRAM

NOTES:

- ALL LIFTS SHALL HAVE 100% POWER BACK UP.
- ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
- FIRE FIGHTING LIFTS PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
- INDOOR AIR SHALL BE MECHANICALLY VENTILATED AS PER RELEVANT CODE.
- ALL TOILETS ARE VENTILATED AS PER HANNAHA BUILDING CODE 2013.
- BUILDING SHALL BE MECHANICALLY VENTILATED AS PER RELEVANT NBC.
- BUILDING SHALL BE DESIGNED (STRUCTURES) AS PER RELEVANT S. CODES FOR EARTHQUAKE RESISTANCE.
- ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH CORRIDOR / STAIRS.
- SCAFFOLDING REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER HANNAHA BUILDING CODE.
- ONE INTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHOULD BE IN FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
- ALL WINDOWS SHOULD BE WITH INGLASS.

KEY PLAN

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

PRINCIPAL ARCHITECT:

ACPL Architecture Management Planning

ACPL Design Ltd

PROJECT:

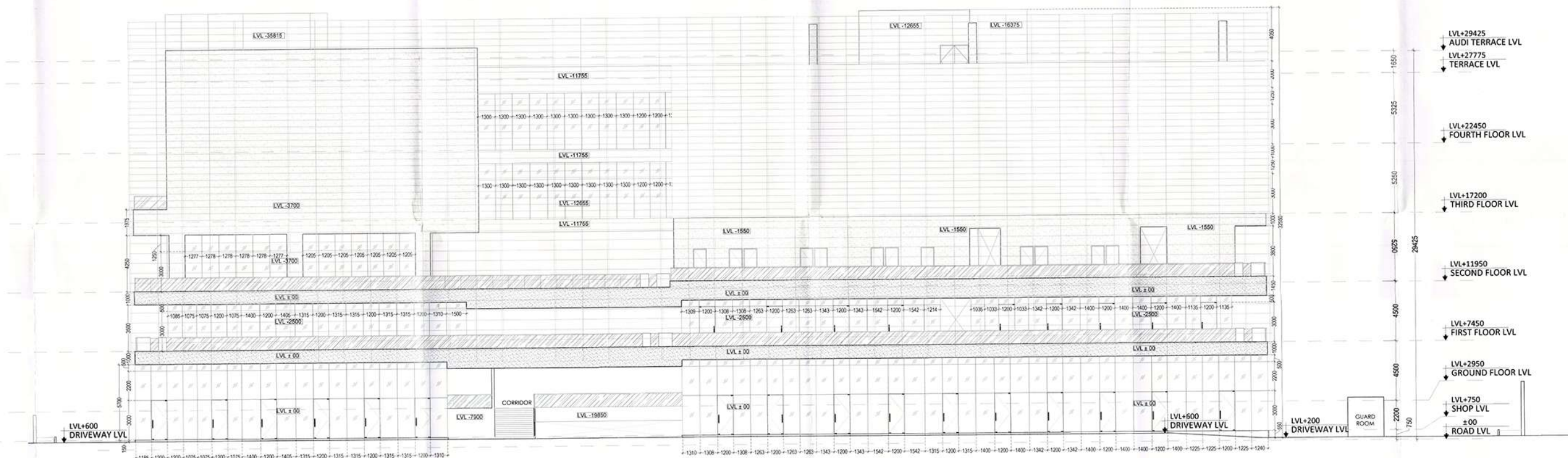
REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA I.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

For ELAN LIMITED

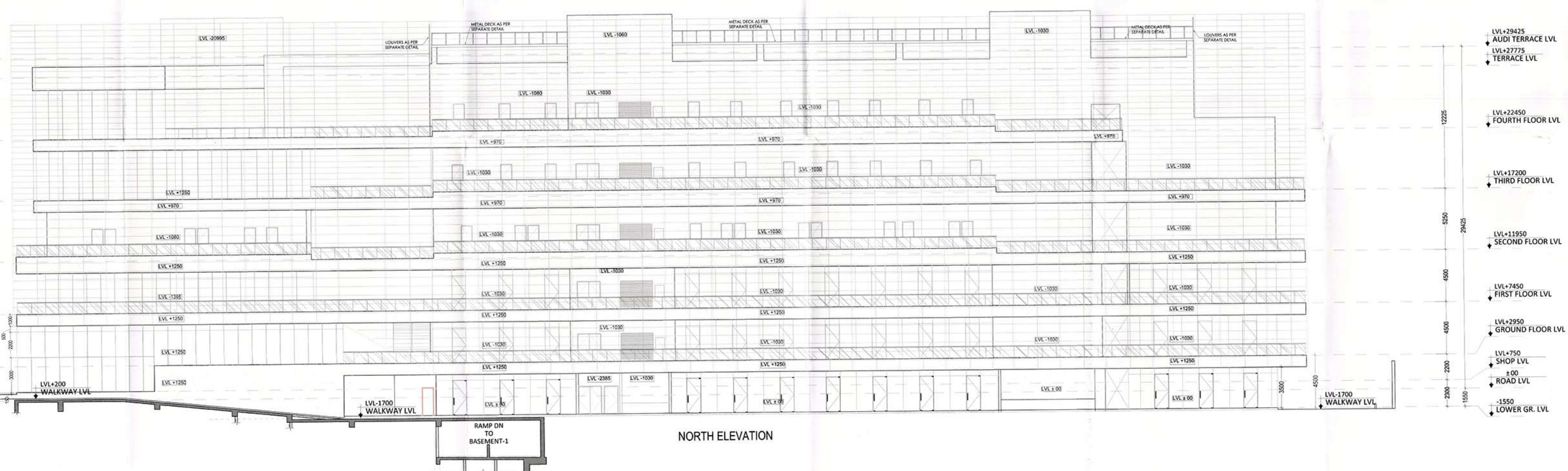
OWNER AUTH SIGNATURE ARCHITECT'S SIGNATURE

DRAWING TITLE: THIRD FLOOR & REFUGE AREA DETAIL

DRAWING NO: S-08A SCALE: 1-150



EAST ELEVATION



NORTH ELEVATION

NOTES:

- ALL LIFTS SHALL HAVE 100% POWER BACK UP.
- ALL LIFTS SHALL BE PROVIDED WITH AN EMERGENCY STOP BUTTON.
- FIRE FIGHTING / SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
- ALL TOILETS ARE VENTILATED AS PER HARRISMAN BUILDING CODE 2018.
- BUILDING HAS AUTOMATIC SPRINKLER SYSTEM AS PER RELEVANT NBC.
- BUILDING WILL BE DESIGNED STRUCTURE AS PER RELEVANT I.S. CODES FOR EARTHQUAKE RESISTANCE.
- ALL INTERIOR BUILDING ARE INTERCONNECTED THROUGH COMMON / BRIDGE / BALCONY RESERVES.
- SQUARE METERS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER RELEVANT NBC.
- ONE EXTERNAL WALL TOWARDS BALCONY SIDE IN ANY ONE OF THE ROOMS IN RESIDENTIAL APARTMENT SHALL BE IN FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
- ALL WINDCHILL RAMPS WITH BALCONY.

KEY PLAN

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

PRINCIPAL ARCHITECT:

ACPL Design Ltd

PROJECT:

REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA (i.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

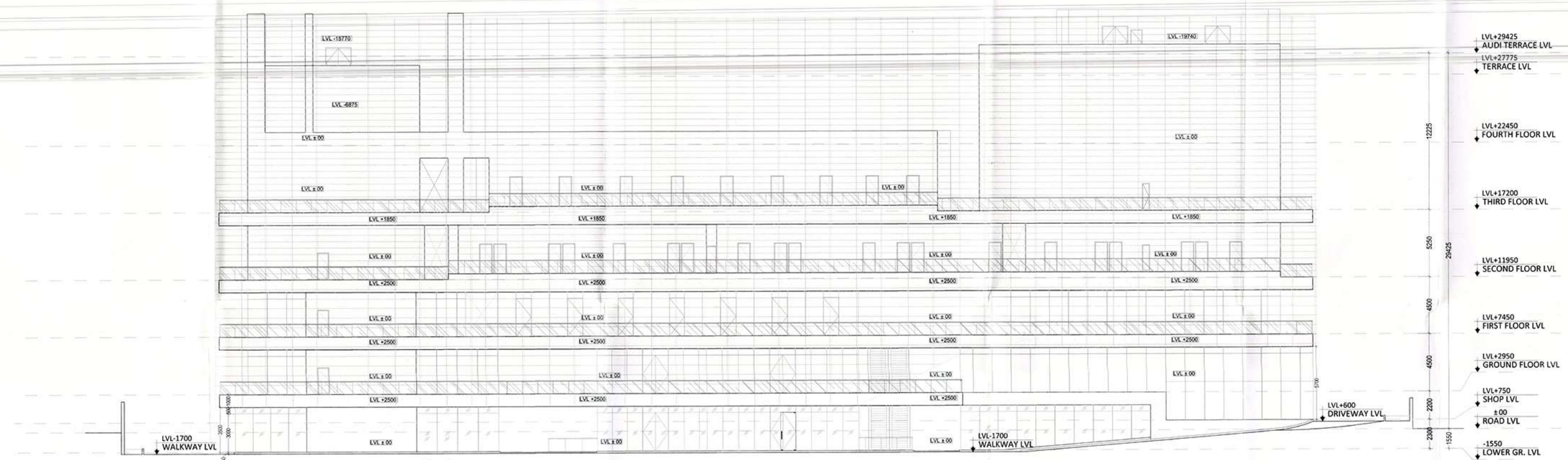
For ELAN LIMITED

OWNER/AUTHOR SIGNATURE

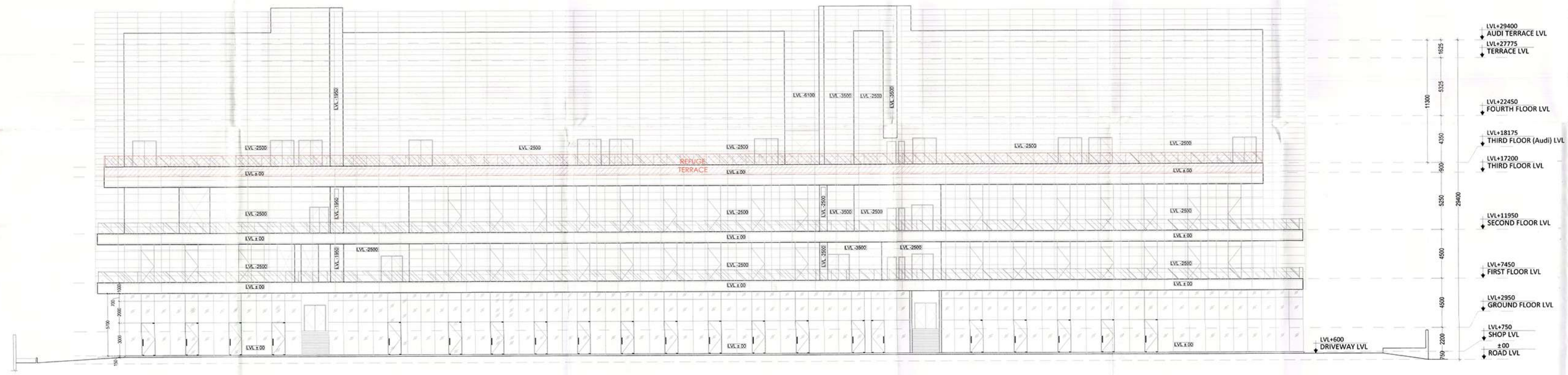
ARCHITECT'S SIGNATURE

ELEVATIONS EAST & NORTH

DRAWING NO. S-12 SCALE: 1:150

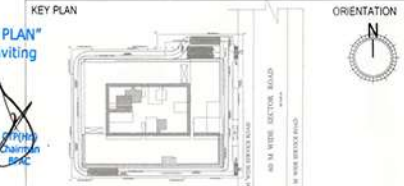


WEST ELEVATION



SOUTH ELEVATION

- NOTES:
- ALL LFTS SHALL HAVE 100% POWER BACK UP
 - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC
 - FIRE FIGHTING SAFETY PROVISIONS SHALL BE AS PER PROVISION OF NBC
 - TREATMENT AREA SHALL HAVE MECHANICALLY VENTILATED AS PER RELEVANT CODE
 - ALL TOILETS ARE VENTILATED AS PER NATIONAL BUILDING CODE 2017
 - BUILDING SHALL HAVE AUTOMATIC SPRINKLER SYSTEM WHEREVER REQUIRED BY NBC
 - BUILDING SHALL BE DESIGNED STRUCTURE AS PER RELEVANT I.S. CODES FOR SEISMIC RESISTANCE
 - ALL HIGH RISE BUILDINGS ARE INTERCONNECTED THROUGH CORRIDOR / BRIDGES
 - SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF FOR ALL RESIDENTIAL APARTMENT SHOULD BE IN THE FIRE RATED WITH PROVISION OF SPRINKLER ON INTERNAL SIDE OF THE SAME WALL.
 - ALL HANDICAP RAMPS WITH RAILING



This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

[Signatures]
 Member Secretary
 Member Secretary
 Member Secretary

PRINCIPAL ARCHITECT:

ACPL 800 9001 2008
 ACPL Design Ltd
 Architectural Management Planning
 www.acpl.com
 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200

PROJECT:-
 REVISED BUILDING PLANS OF COMMERCIAL SITE MEASURING 3.525 ACRES (AFTER EXCLUDING 0.475 ACRE ACQUIRED AREA FOR SECTOR ROAD AND 12.0 M WIDE SERVICE ROAD, OUT OF TOTAL LICENCE GRANTED AREA MEASURING 4.0 ACRES WITH FAR BENEFIT ON TOTAL LICENCED AREA i.e. 4.0 ACRES) (LIC. NO. 148 OF 2008 DATED 02.08.2008) IN SECTOR -70, GUJRAGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY ELAN LTD.

OWNER AUTH. SIGNATURE: *[Signature]*
 ARCHITECT'S SIGNATURE: *[Signature]*